

ADDRESS: 231 REED ST

Proposal: Construct addition

Review Requested: Review In Concept

Owner: Christopher Columbus Charter School

Applicant: Robert O'Donnell, O'Donnell Stacey

History: 1893; Sacred Heart of Jesus Parochial School; William P. Regan, architect

Individual Designation: 1/1/3000

District Designation: None

Staff Contact: Kim Chantry, kim.chantry@phila.gov, 215-686-7660

BACKGROUND:

This in-concept application proposes to construct an addition to the former Sacred Heart of Jesus Parochial School. The property has been nominated for designation and is under consideration for listing on the Philadelphia Register of Historic Places. The review of the nomination is scheduled for the 13 November 2019 Committee on Historic Designation meeting, and the 13 December 2019 Historical Commission meeting. The applicant seeks an in-concept review by the Architectural Committee and Historical Commission so that the property owner, Christopher Columbus Charter School, will have reasonable expectations regarding its expansion plans, should the Historical Commission designate the property. The plans for the addition were developed in 2013, and the charter school has been awaiting approval of the Philadelphia School District to proceed with the school.

SCOPE OF WORK

- Construct addition at side and rear of building.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
 - The proposed addition is connected to the historic building at the side and rear via a glass connector, allowing for retention and visibility from the public right-of-way of the original exterior walls. The new addition is differentiated from the old and is compatible with the historic materials, features, size, scale and proportion, and massing.
- *Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
 - The addition could be removed in the future and the integrity of the historic property would be unimpaired.

STAFF RECOMMENDATION: Approval in-concept, pursuant to Standards 9, 10, and the extensive plans for the development of the property already in place at the time the Historical Commission sent the notice of the nomination.



231 Reed Street as viewed from E. Moyamensing Avenue and Reed Street.



Rear of 231 Reed Street as viewed from Reed Street.

APPLICATION FOR BUILDING PERMIT

APPLICATION # _____

(Please complete all information below and print clearly)



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING – CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov/li

ADDRESS OF PROPOSED CONSTRUCTION:

231 Reed Street, Philadelphia, Pa 19147

APPLICANT:

Robert W. O'Donnell Esq

COMPANY NAME

O'Donnell Stacey

PHONE # (215) 563-6991

FAX #

APPLICANT'S ADDRESS:

7945 Germantown Avenue

Philadelphia PA 19118

LICENSE #

E-MAIL: bob@odonnellstacey.com

PROPERTY OWNER'S NAME:

Christopher Columbus Charter School

PHONE # (215) 389-6000

FAX #

PROPERTY OWNER'S ADDRESS:

1242 S 13th Street, Philadelphia Pa 19147

ARCHITECT/ENGINEER IN RESPONSIBLE CHARGE

Michael Kelly

ARCHITECT/ENGINEERING FIRM:

KCBA Architects

PHONE # 368-5806

FAX #

ARCHITECT/ENGINEERING FIRM ADDRESS:

8 E. Broad Street

Hatfield Pa 19440

LICENSE #

E-MAIL:

CONTRACTOR:

William Young

CONTRACTING COMPANY:

Techni Systems Inc

PHONE # (856) 829-0625

FAX # 856 829 1887

CONTRACTING COMPANY ADDRESS:

P.O.Box 2293

Cinnaminson, N.J 08077

LICENSE #

E-MAIL:

USE OF BUILDING/SPACE

School

ESTIMATED COST OF WORK

\$ 18,000,000.00

BRIEF DESCRIPTION OF WORK:

Construction of additon to existing school building and renovation of interior space of existing building.

TOTAL AREA UNDERGOING CONSTRUCTION: 65,950.00 square feet

COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:

OF NEW SPRINKLER HEADS (suppression system permits only): _____ LOCATION OF SPRINKLERS: _____

OF NEW REGISTERS/DIFFUSERS (hvac/ductwork permits only): _____ LOCATION OF STANDPIPES: _____

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? ☐ NO ☒ YES VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE: Robert W. O'Donnell

DATE: 10.31.19

October 31, 2019

Delivered by email to jon.farnham@phila.gov

Jonathan E. Farnham, Ph.D.
Executive Director
Philadelphia Historical Commission
1515 Arch St., 13th Floor
Philadelphia, PA 19102

Re: 231 Reed St. - Application for Review in Concept

Dear Dr. Farnham:

The above property was constructed and used as an elementary school by the Catholic Archdiocese of Philadelphia. The school closed some years ago and has been vacant since that time. My client, the Christopher Columbus Charter School (CCCS) purchased the property with the intention of reopening the school as an addition to its existing charter.

Building plans were drawn and CCCS is waiting for the approval of the Philadelphia School District to proceed. The building will require extensive renovation and the construction of an addition. The addition will wrap around the existing building and preserve its existing façade. Copies of the building plans and architect's renderings have been previously submitted to the Commission but are also attached to the email transmitting this letter. Photographs of the current state of the building have been done by the Historical Commission and are in its file.

A nomination to designate the outside of the existing building is presently before the Commission and is scheduled to be considered by the Advisory Committee on Historical Designation at its next meeting.

I respectfully request a Review in Concept of our plan and Building Permit which is also attached to the transmitting email.

Thank you for your consideration.

Very truly yours,

A handwritten signature in black ink, reading "Robert O'Donnell". The signature is written in a cursive, flowing style with a large initial 'R' and a long, sweeping underline.

Robert W. O'Donnell



Open space at rear of building. View from Reed Street, September 2018. Source: Google Street View.



View from across E. Moyamensing Avenue, September 2018. Source: Google Street View.



Primary façade from E. Moyamensing Avenue, July 2019.



South (side) elevation, view from Reed Street, July 2019.



Rear façade, view from Reed Street, July 2019.



North (side) elevation, view from E. Moyamensing Avenue, July 2019.

Christopher Columbus Charter School
1329 E. Moyamensing Avenue
Philadelphia, Pennsylvania



Renovations and Addition
Exterior View
October 4, 2013

KCBA Architects

Christopher Columbus Charter School
1329 E. Moyamensing Avenue
Philadelphia, Pennsylvania



Renovations and Addition
Exterior Entry
October 4, 2013

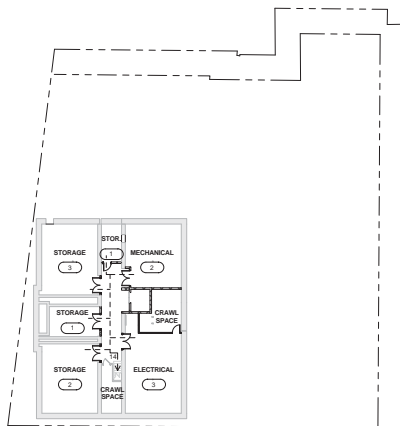
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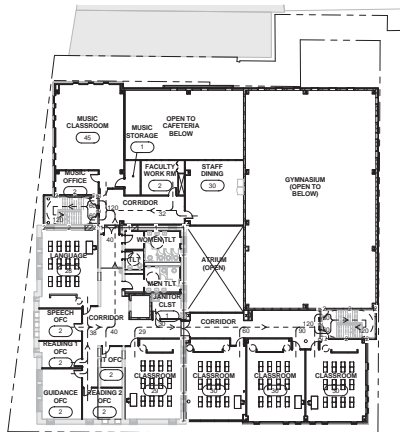


Renovations and Addition
Exterior View
October 4, 2013

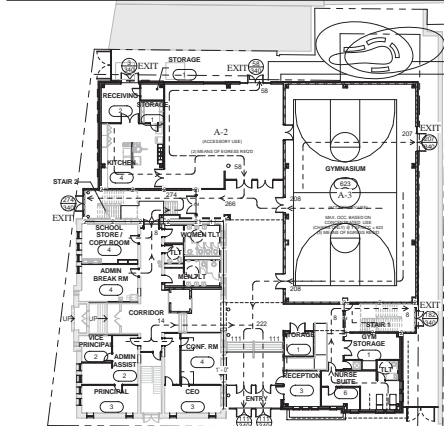
KCBA Architects



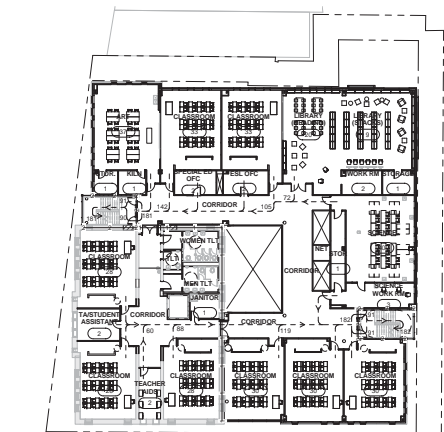
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03 BASEMENT FLOOR CODE PLAN
1" = 20'-0"



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A0.3
03 SECOND FLOOR CODE PLAN
1" = 20'-0"



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A0.1
01 FIRST FLOOR CODE PLAN
1" = 20'-0"



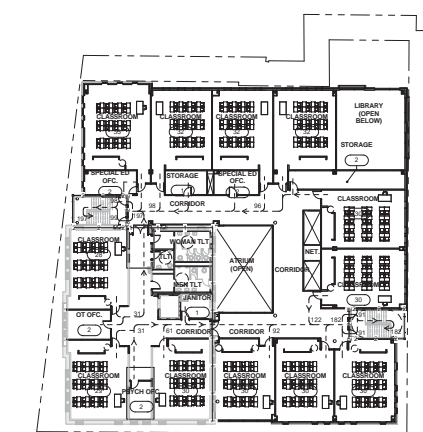
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A0.3
03 THIRD FLOOR CODE PLAN
1" = 20'-0"

CODE INFORMATION:	AREA MODIFICATIONS CALCULATIONS:	GENERAL INFORMATION: HEIGHTS - OCCUPANCY - EGRESS																																																										
<p>PREVAILING REQUIREMENTS: IBC 2009, IBC 2009, AND A117.1 - 2003</p> <p>CONTACT INFORMATION: EDWARD MANDOLIS, AIA KCB ARCHITECTS 4 E BRIDGES ST HATFIELD, PA 19340 (215) 368-5806</p> <p>LOCAL PREVAILING CODE OFFICIAL: CITY OF PHILADELPHIA DEPARTMENT OF LICENSES & INSPECTION OFFICIAL 150 MUNICIPAL SERVICES BUILDING 1401 JOHN F. KENNEDY BOULEVARD PHILADELPHIA, PA 19102 (215) 896-2403</p>	<p>FIRE AREA A - ORIGINAL 1892 BUILDING</p> <table><tr><td>FIRST FLOOR</td><td>4,779 SF</td></tr><tr><td>SECOND FLOOR</td><td>4,750 SF</td></tr><tr><td>THIRD FLOOR</td><td>4,750 SF</td></tr><tr><td>FOURTH FLOOR</td><td>4,750 SF</td></tr><tr><td>TOTAL (ALL FLOORS)</td><td>18,930 SF</td></tr></table> <p>FIRE AREA B - NEW CONSTRUCTION</p> <table><tr><td>FIRST FLOOR</td><td>12,560 SF</td></tr><tr><td>SECOND FLOOR</td><td>6,230 SF</td></tr><tr><td>THIRD FLOOR</td><td>12,250 SF</td></tr><tr><td>FOURTH FLOOR</td><td>11,250 SF</td></tr><tr><td>TOTAL (ALL FLOORS)</td><td>42,290 SF</td></tr></table> <table><tr><th colspan="6">FRONTAGE</th></tr><tr><th>N</th><th>E</th><th>S</th><th>W</th><th>TOTAL</th><th>% TOTAL (% FRONTAGE INCREASE)</th></tr><tr><td>0</td><td>0</td><td>136</td><td>134</td><td>270</td><td>540' (100' (220'-25%) (30'-1) = 25%</td></tr></table> <p>% OF ALLOWABLE TABLE AREA 100% % INCREASE FOR FRONTAGE 25% % INCREASE FOR AUTOMATIC SPRINKLERS 200% TOTAL PERCENTAGE FACTOR 325% CONVERSION FACTOR 3.25</p> <p>ACTUAL BUILDING AREA 60,990 SF ALLOWABLE AREA PER FLOOR 88,125 SF</p> <table><tr><td>SINGLE OCCUPANCY</td><td>E</td></tr><tr><td>MIXED OCCUPANCY</td><td>NA</td></tr><tr><td>INCIDENTAL USE AREAS</td><td>NA</td></tr><tr><td>ACCESSORY USE AREAS</td><td>S, A3</td></tr></table> <p>CONSTRUCTION TYPE: EXISTING - TYPE IIIA - FULLY SPRINKLERED NEW - TYPE IIA - FULLY SPRINKLERED * EXISTING CONSTRUCTION IBC COMPLIANT TO LEVEL 2 ALTERATIONS</p>	FIRST FLOOR	4,779 SF	SECOND FLOOR	4,750 SF	THIRD FLOOR	4,750 SF	FOURTH FLOOR	4,750 SF	TOTAL (ALL FLOORS)	18,930 SF	FIRST FLOOR	12,560 SF	SECOND FLOOR	6,230 SF	THIRD FLOOR	12,250 SF	FOURTH FLOOR	11,250 SF	TOTAL (ALL FLOORS)	42,290 SF	FRONTAGE						N	E	S	W	TOTAL	% TOTAL (% FRONTAGE INCREASE)	0	0	136	134	270	540' (100' (220'-25%) (30'-1) = 25%	SINGLE OCCUPANCY	E	MIXED OCCUPANCY	NA	INCIDENTAL USE AREAS	NA	ACCESSORY USE AREAS	S, A3	<p>BUILDING HEIGHT: EXISTING HEIGHT (AVERAGE FOR SLOPED ROOF) 45'-0" (4 STORY) NEW ADDITION HEIGHT 45'-0" (4 STORY)</p> <p>OCCUPANCY LOAD:</p> <table><tr><td>BASEMENT</td><td>13</td></tr><tr><td>FIRST FLOOR</td><td>176</td></tr><tr><td>SECOND FLOOR</td><td>240</td></tr><tr><td>THIRD FLOOR</td><td>363</td></tr><tr><td>FOURTH FLOOR</td><td>378</td></tr><tr><td>EGRESS CAPACITY PROVIDED</td><td>2,032</td></tr></table> <p>TRAVEL DISTANCES: MAXIMUM TO AN EXIT 250' WITH AUTOMATIC SPRINKLER SYSTEM MAXIMUM DEAD END CORRIDOR 87' COMMON PATH OF TRAVEL 75'</p> <p>MIXED USE & OCCUPANCY (SECTION 508)</p> <p>ACCESSORY OCCUPANCY ASSEMBLY NOT CONSIDERED SEPARATELY OCCUPANCY IN USE GROUP T 303.1.4</p> <div><div></div><div>SHADED AREA INDICATES BUILDING AREA ADDITIONS</div></div>	BASEMENT	13	FIRST FLOOR	176	SECOND FLOOR	240	THIRD FLOOR	363	FOURTH FLOOR	378	EGRESS CAPACITY PROVIDED	2,032
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FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS		
IBC 2009 TABLE 601		
TYPE IIA CONSTRUCTION FULLY SPRINKLERED		
BUILDING ELEMENT	RATING	ASSEMBLY
STRUCTURAL FRAME	1	NA
BEARING WALLS	1	NA
EXTERIOR	1	NA
INTERIOR	1	NA
NON-BEARING WALLS AND PARTITIONS	1	NA
EXTERIOR	0	NA
INTERIOR	0	NA
FLOOR CONSTRUCTION	1	NA
ROOF CONSTRUCTION	1	NA

PHILADELPHIA PLUMBING CODE: BASED ON STUDENT POPULATION OF 800			
	WATER CLOSETS / URINALS	LAVATORIES	DRINKING FOUNTAINS
BOYS	WC-1 PER 40 / 13.1 PER 50	1 PER 50	1 PER 100
GIRLS	WC-1 PER 35 / 1 PER 50 STUDENTS	1 PER 50	1 PER 100
TOTAL REQUIRED	BOYS = 8 WC-1 / 13.1 PER 50 STUDENTS	12	6
TOTAL PROVIDED	BOYS = 12 WC-1 / 13.1 PER 50 STUDENTS	7	6

OCCUPANT LOADS:	
IBC 2009 / TABLE 1004.1.1	
ASSEMBLY	7 NET
- CONCENTRATED WITHOUT FIXED SEATING	15 NET
- UNCONCENTRATED - TABLES AND CHAIRS	20 NET
CLASSROOMS	100 GROSS
BUSINESS AREA	300 GROSS
STORAGE / MECHANICAL	50 NET
LIBRARY (READING AREA)	100 GROSS
LIBRARY (STACK AREA)	100 GROSS



5
A0.3
04 FOURTH FLOOR CODE PLAN
1" = 20'-0"

ISSUED FOR SCHEMATIC PRICING

CODE SHEET

JOB NO.	2358.00
DATE	02.28.2010
SCALE	AS NOTED
DRAWN BY	DMM
CHECKED BY	Checker
SHEET NO.	

A0.3

CHRISTOPHER COLUMBUS CHARTER SCHOOL
AT
1329 E. Moyamensing Avenue
PHILADELPHIA COUNTY
PHILADELPHIA, PA

KCB Architects
1329 E. Moyamensing Avenue
Philadelphia, PA 19102
215.368.5806
kcbarchitects.com

CONSULTANTS

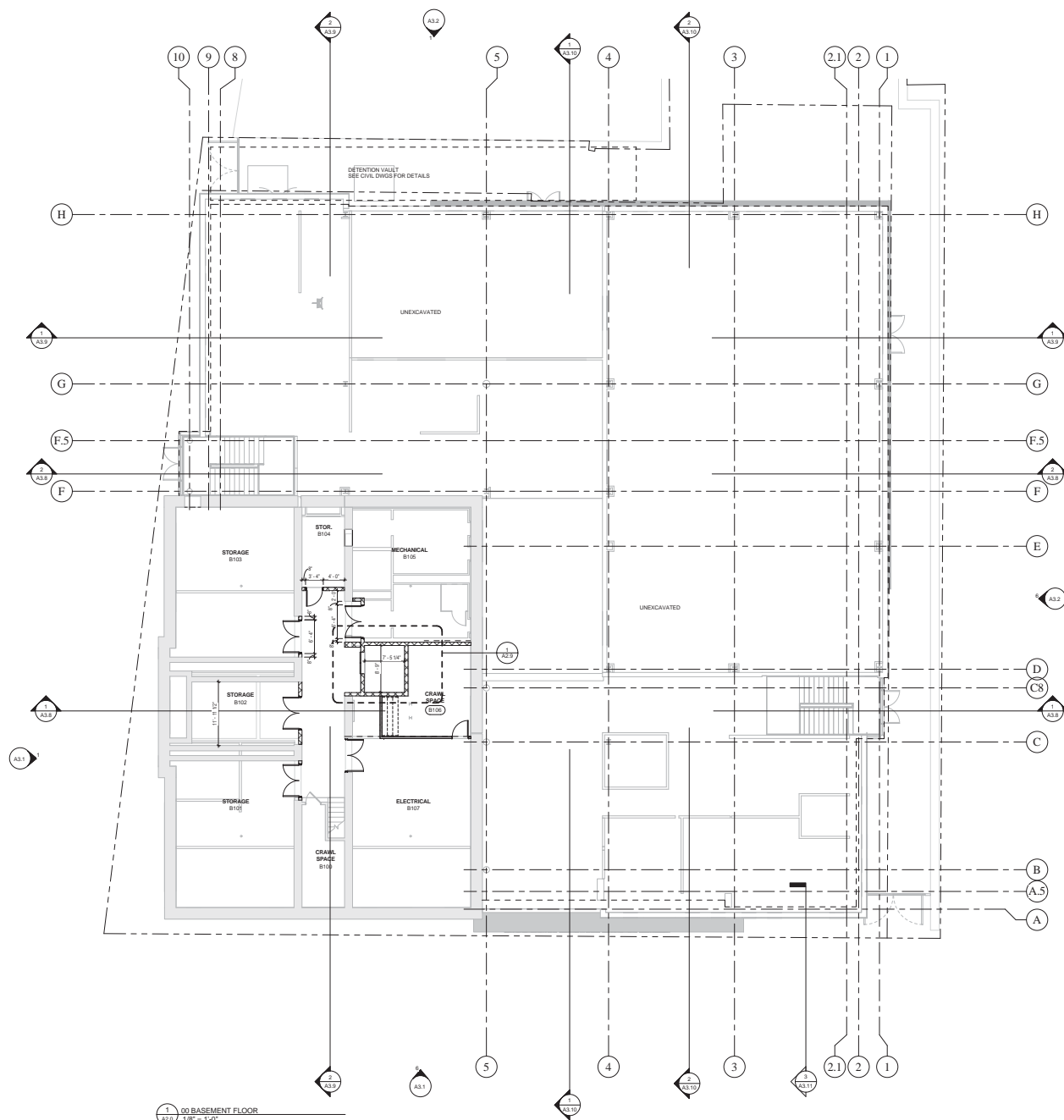
PLAN NORTH
TRUE NORTH



DEMOLITION	
Key Value	Keynote Text
2a	REMOVE EXISTING WALL CONSTRUCTION AND BASE FOR EXTENT INDICATED DOWN TO FLOOR SLAB. IF FLOOR STRUCTURE STOPS EACH SIDE OF WALL (E. EDGE OF SLAB DEMOLISH WALL DOWN TO 2' BELOW FINISH FLOOR. PATCH FLOOR AND ADJACENT WALLS AS REQUIRED AND PREPARE FOR NEW FINISHES. PROVIDE NEW LINTEL IF REQUIRED AS SHOWN ON LINTEL PLAN.
2b	REMOVE EXISTING WALL CONSTRUCTION IN ITS ENTIRETY DOWN TO EXISTING FOOTING. REMOVE EXISTING CONCRETE EXISTING IN THIS CURBURY.

GENERAL DEMOLITION NOTES

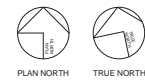
- SEAL MEEP DRAWINGS FOR COORDINATION OF ELECTRICAL, MECHANICAL, AND PLUMBING EQUIPMENT REMOVAL.
- WALLS - PATCH ALL EXISTING HOLES, CRACKS, ETC. AND REPAIR ALL CRACKS AND DISINTEGRATION OF EXISTING EQUIPMENT. PATCH ALL HOLES IN WALLS DESIGNATED FOR REMOVAL.
- FLOORS - PATCH AS REQUIRED BY REMOVAL OF WALLS, CASEWORK, ETC.
- ALL LOOSE EQUIPMENT AND FURNITURE TO BE REMOVED BY OWNER.
- REFERENCE PHASING DRAWINGS FOR SEQUENCE OF WORK.
- DEMOLITION NOTES PROVIDED FOR REFERENCE ONLY. OTHER CONTRACTORS ARE RESPONSIBLE TO DEMOLISH ANY ITEM NOT DEMOLISHED BY ANY CONTRACTOR.
- DEMOLITION DRAWINGS THAT MAY INTERFERE WITH CONSTRUCTION OF ANY NEW WORK.
- COORDINATE EXTERIOR DEMOLITION ITEMS WITH EXISTING ELEVATIONS.
- COORDINATE DEMOLITION OF WALL BLOCKS, SPEAKERS AND FIRE ALARM DEVICES PLACING DRAWING WITH ELECTRICAL DRAWINGS.
- COORDINATE DEMOLITION OF PLUMBING FIXTURES AND EQUIPMENT WITH PLUMBING DRAWING.
- COORDINATE DEMOLITION OF THERMOSTATS, SENSORS, DETECTORS AND EQUIPMENT WITH MECHANICAL DRAWINGS.
- REMOVE ALL WASTE MATERIAL TO ASSOCIATED WASTE FACILITIES AT LOCATIONS WHERE RECESSED EQUIPMENT IS TO BE REMOVED.



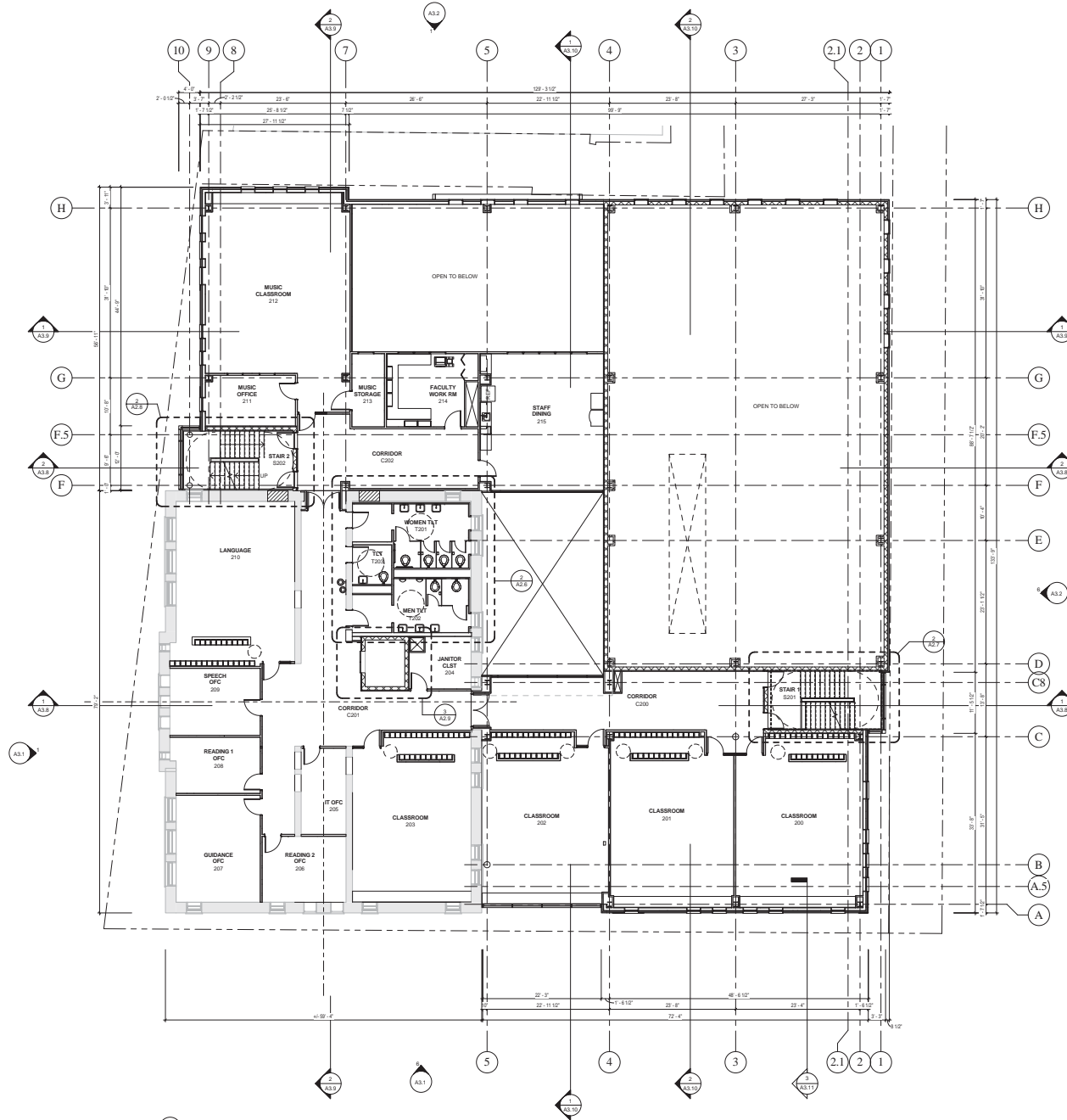
1 00 BASEMENT FLOOR
A2.0 1/8" = 1'-0"

TYPICAL NOTES

3. **CJ - CONTROL JOINT**
 4. **SI - SLOPE**
 5. **FR - FILL**
 6. **FOR - FILL TYPE DESCRIPTION**
 7. **TR - TYPICAL**
 8. **REF - REFERENCE**
 9. **FOR TYPICAL FUTURE HEIGHTS REFERENCE**
 10. **SYMBOLS INDICATE INTERIOR ELEVATIONS**
 11. **FOR INTERIOR ELEVATIONS**
 12. **FOR EXTERIOR ELEVATIONS**
 13. **DR - DRAIN LOCATION**
 14. **DR - DRAIN LOCATION BY OTHERS, COORDINATE**
 15. **CONTRACTOR MUST FOLLOW WITH FUTURE**
 16. **CONTRACTOR BEFORE ERECTING C.M.U.**
 17. **E.W.C. - ELECTRIC WATER COOLER**
 18. **INDICATES TACKBOARD LOCATION SEE SHEET**
 19. **FOR TACKBOARD LOCATION**
 20. **MB - INDICATES MAINBAND LOCATION SEE SHEET**
 21. **FOR MAINBAND LOCATION**
 22. **FOR ADDITIONAL INFORMATION**
 23. **REFERENCE STRAIGHTENING FOR CORRECT**
 24. **CORRELATION ORIENTATION**
 25. **TO FACE OF CHAMFER OR STUD**
 26. **OTHERWISE NOTED**
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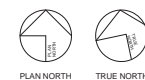


PLAN NORTH TRUE NORTH



1 02 SECOND FLOOR
1/8" = 1'-0"

- TYPICAL NOTES**
1. C.J. CONTROL JOINT
 2. D.S. DOWN SPOUT
 3. FOR WALL TYPE DESCRIPTION
REFERENCE SEE SHEET A2.1
 4. FOR TYPICAL FUTURE HEIGHTS REFERENCE
SEE SHEET A2.2
 5. SYMBOL INDICATES INTERIOR ELEVATIONS.
REFER TO SHEETS A2.1, A2.4
FOR INTERIOR ELEVATIONS
 6. RD. INDICATES APPROXIMATE ROOF
DRAIN LOCATION BY OTHERS. COORDINATE
EXACT LOCATIONS WITH PLUMBING
CONTRACTOR BEFORE ERECTING C.M.U.
WALL CONSTRUCTION
 7. E.W.C. INDICATES ELECTRIC WATER COOLER
LOCATION
 8. TB. INDICATES TACKBOARD LOCATION. SEE SHEET
A2.1 GENERAL NOTES FOR ADDITIONAL INFORMATION.
 9. MB. INDICATES MANNINGBOARD LOCATION. SEE SHEET
A2.1 GENERAL NOTES FOR ADDITIONAL INFORMATION.
 10. REFERENCE STRUCTURAL DRAWINGS FOR CORRECT
COLUMN ORIENTATION
 11. ALL DIMENSIONS TO FACE OF CMU OR STUD
UNLESS OTHERWISE NOTED
 12. ALL DIMENSIONS TO FACE OF FINISH FOR FUTURE.
GRAB BARS & TOILET ACCESSORIES IN ENLARGED
TOILET ROOM PLANS
 13. IN AREAS WITH WALL TYPE 3, ADHERE GHS TO
ONLY AT DOOR & WINDOW JAMB LOCATIONS
 14. C.M.U.
C.W.B.
BRICK
 15. FE = WALL MTD. FIRE EXTINGUISHER LOCATION
FEC = WALL MTD. RECESSED
FIRE EXTINGUISHER CABINET LOCATION
 16. DS = DOWNSPOUT
 17. RWG = RAINWATER CONDUCTOR
 18. COORD. BOLLARD TYPE 1 LOCATIONS W/ CIVIL DWGS.
COORD. UTILITY LOCATIONS W/ CIVIL AND MEP DWGS.
 19. B = BOLLARD BLOCK LOCATION



ISSUED FOR SCHEMATIC PRICING

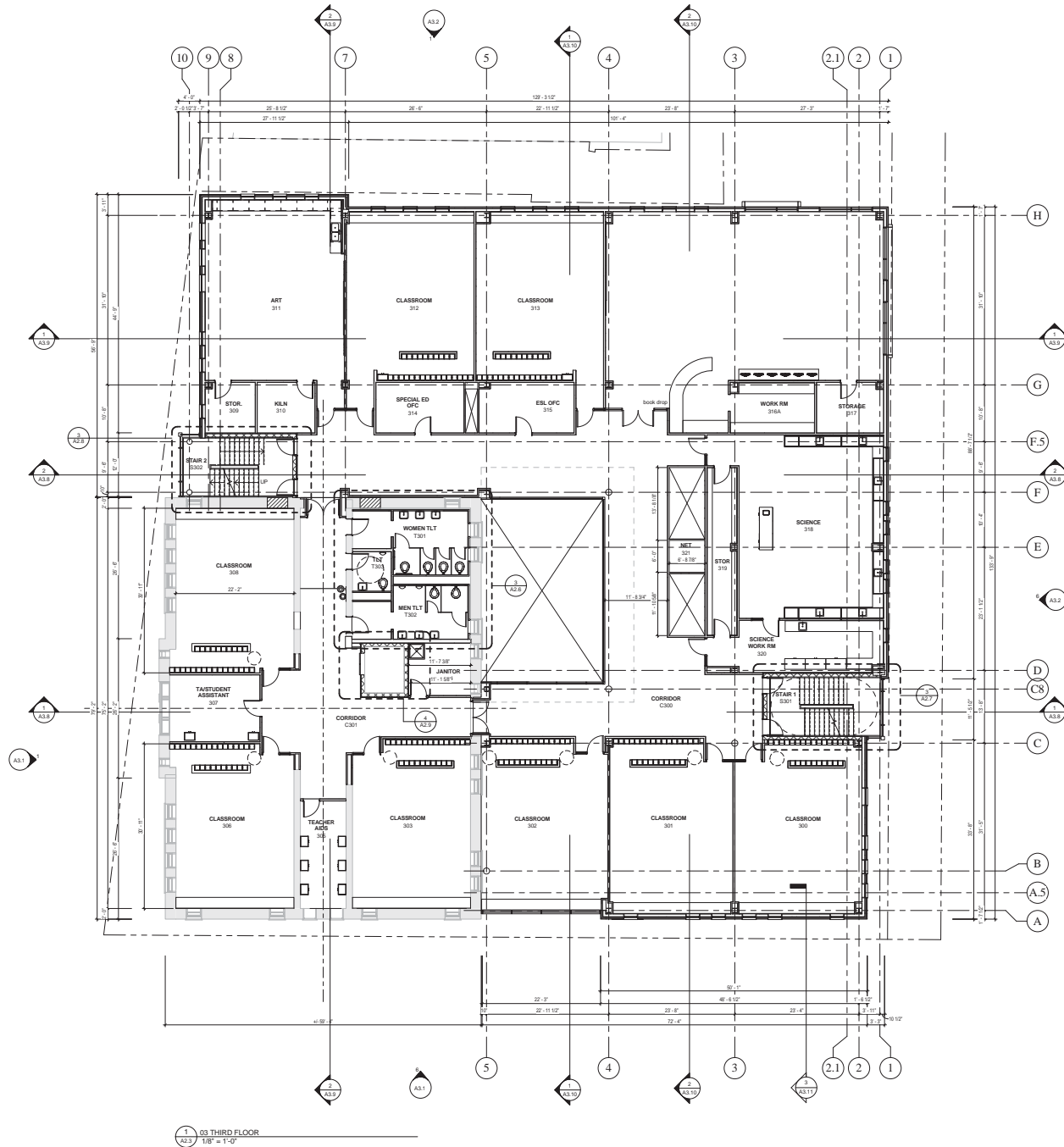
SECOND FLOOR PLAN

JOB NO. 2008.00
DATE 02.28.2010
SCALE 1/8" = 1'-0"
DRAWN BY [Signature]
SHEET NO.

A2.2

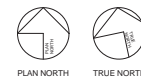
CHRISTOPHER COLUMBUS CHARTER SCHOOL
AT
1329 E. Moyamensing Avenue
PHILADELPHIA COUNTY
PHILADELPHIA, PA

NO.	DATE	DESCRIPTION
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100	02.28.2010	ISSUED FOR SCHEMATIC PRICING



TYPICAL NOTES

1. CL - CONTROL JUNT
2. DS - DOWN SPOUT
3. (Symbol) FOR WALL TYPE DESCRIPTION
REFERENCE SEE SHEET A3.1
4. (Symbol) FOR TYPICAL FUTURE HEIGHTS REFERENCE
SEE SHEET A3.2
5. SYMBOL INDICATES INTERIOR ELEVATIONS
REFER TO SHEETS A3.1-A3.4
FOR INTERIOR ELEVATIONS
6. RD - INDICATES APPROXIMATE ROOF
DRAIN LOCATION BY OTHERS. COORDINATE
EXACT LOCATIONS WITH PLUMBING
CONTRACTOR BEFORE ERECTING C.M.U.
WALL CONSTRUCTION
7. E.W.C. - INDICATES ELECTRIC WATER COOLER
LOCATION
8. TB - INDICATES TACKBOARD LOCATION. SEE SHEET
A3.1 GENERAL NOTES FOR ADDITIONAL INFORMATION.
9. MB - INDICATES MARKERBOARD LOCATION. SEE SHEET
A3.1 GENERAL NOTES FOR ADDITIONAL INFORMATION.
10. REFERENCE STRUCTURAL DRAWINGS FOR CORRECT
COLUMN ORIENTATION
11. ALL DIMENSIONS TO FACE OF CMU OR STUD
UNLESS OTHERWISE NOTED
12. ALL DIMENSIONS TO FACE OF FINISH FOR FIXTURES,
GRAB BARS & TOILET ACCESSORIES IN ENLARGED
TOILET ROOM PLANS
13. IN AREAS WITH WALL TYPE 3, ADHERE GIVE TO
CHIEF DOOR & WINDOW JAMB LOCATIONS
14. (Symbol) C.M.U.
(Symbol) G.W.B.
(Symbol) BRICK
15. FE - WALL/MTD. FIRE EXTINGUISHER LOCATION
FE - WALL/MTD. RECESSED
FIRE EXTINGUISHER CABINET LOCATION
16. DS - DOWN SPOUT
17. RWIC - RAINWATER CONDUCTOR
18. COORD. BALLARD TYPE 1 LOCATIONS IN CIVIL DWGS.
COORD. UTILITY LOCATIONS IN CIVIL AND MEP DWGS.
19. B - BULLNOSE BLOCK LOCATION



1 03 THIRD FLOOR
A3.3 1/8" = 1'-0"

kcba
Architects

CONSULTANTS

ISSUED FOR SCHEMATIC PRICING

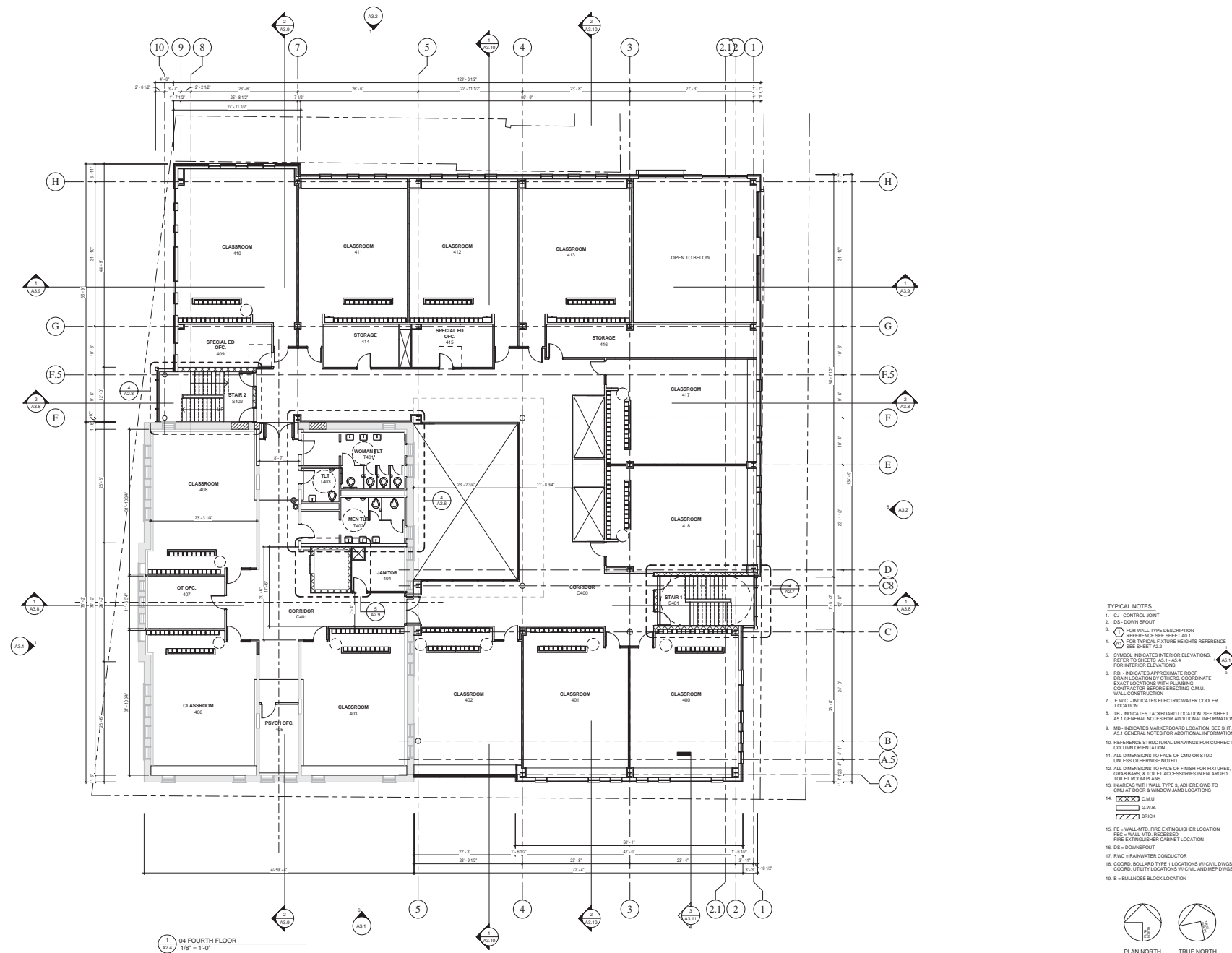
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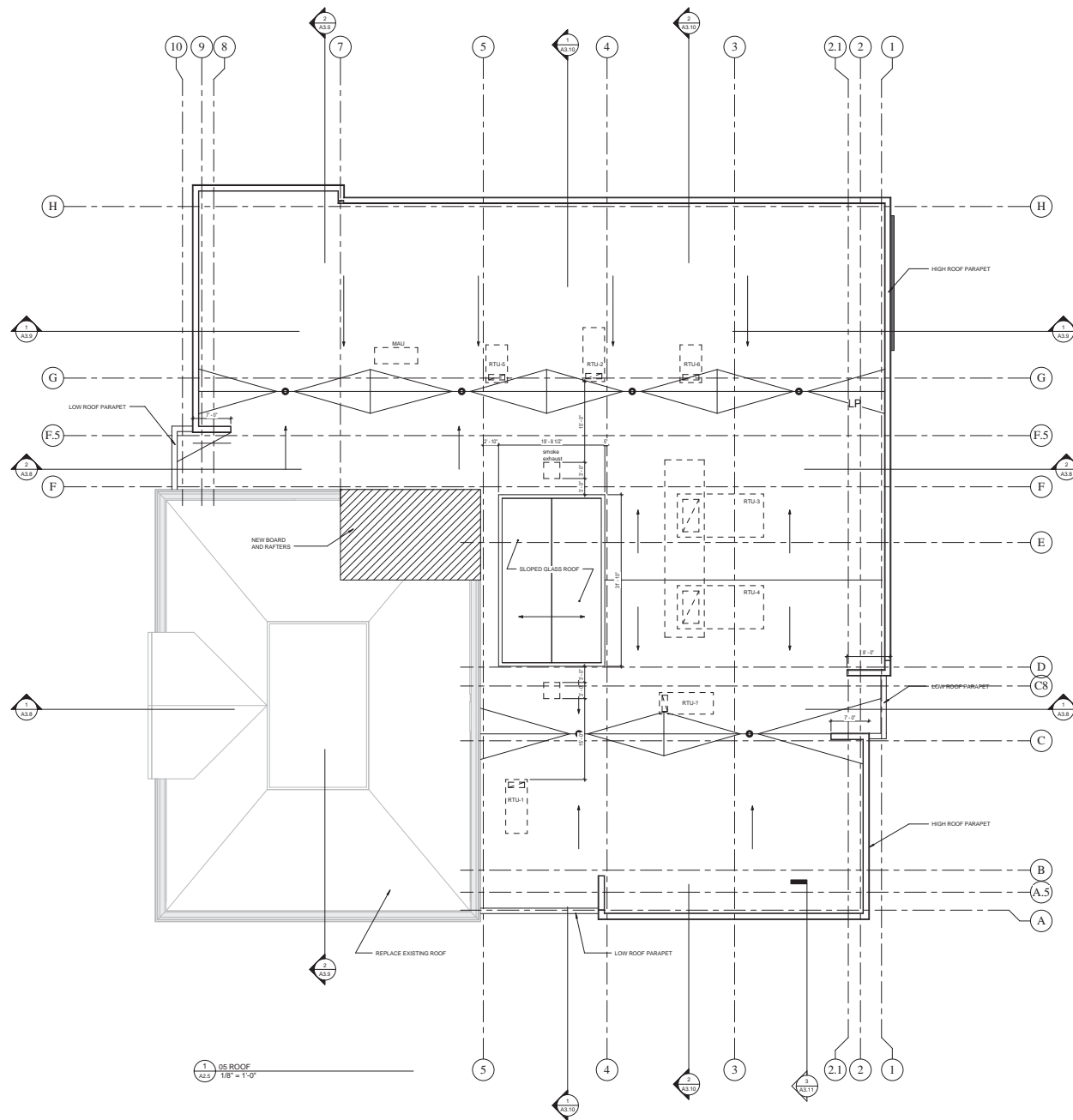
JOB NO. 2358.00
 DATE 02.28.2010
 SCALE 1/8" = 1'-0"
 DRAW BY
 SHEET NO.

CHECKED BY
 DRAWN BY
 DATE

ADD. DRAWN BY
 CHECKED BY
 DATE

A2.3

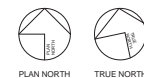




LEGEND

RD ● ROOF DRAIN
 ERD ● EMERGENCY OVERFLOW DRAIN
 HP ▲ HIGH POINT OF SLOPE
 [Hatched Box] TYPED INSULATION
 → SLOPE TO DRAIN (MIN. 1/4" PER FOOT)

- GENERAL NOTES**
- REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS.
 - NO PLUMBING VENT PIPES OR MECHANICAL UNITS TO PENETRATE ROOF OR TO BE PLACED ON ROOF CLOSER THAN 25'-0" TO GRAVEL STOP.
 - ALL ROOF DRAINS SHALL BE 25'-0" OR LESS FROM HIGH POINT OF SLOPE.
 - PROVIDE CHICKETS AT ALL ROOF PENETRATIONS AND ROOF TOP UNITS TO CREATE POSITIVE WATER FLOW TO ROOF DRAINS.
 - CONTRACTOR TO COORDINATE IN FIELD TO PROVIDE POSITIVE DRAINAGE.



ISSUED FOR SCHEMATIC PRICING

ROOF PLAN

JOB NO. 2358.00
 DATE 02.28.2010
 SCALE 1/8" = 1'-0"
 DRAWN BY [Signature]
 SHEET NO.

A2.5

CHRISTOPHER COLUMBUS CHARTER SCHOOL
 AT
 1329 E. Moyamensing Avenue
 PHILADELPHIA COUNTY PHILADELPHIA, PA

CONSULTANTS

kcbva Architects
 1329 E. Moyamensing Avenue
 Philadelphia, PA 19106-2245
 P 215.381.1800
 kcbvaarchitects.com

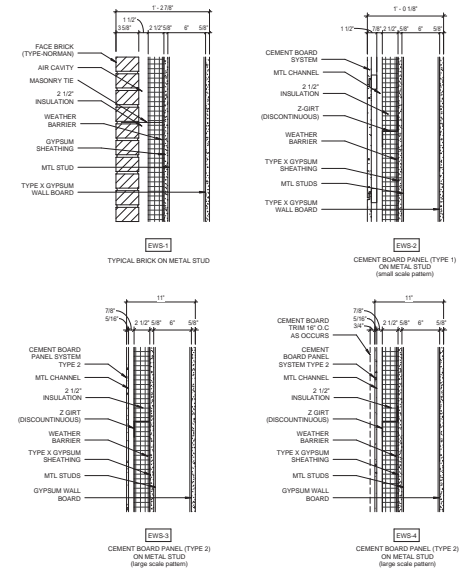


6 SOUTH ELEVATION
AS.1 1/8" = 1'-0"



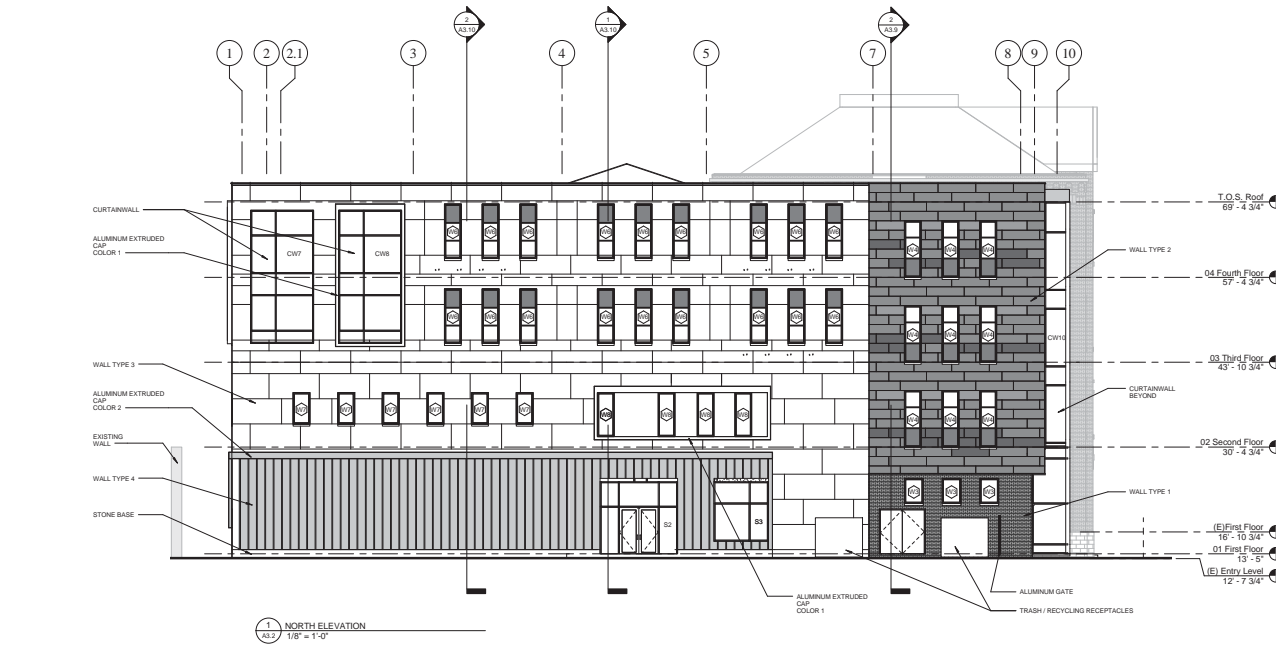
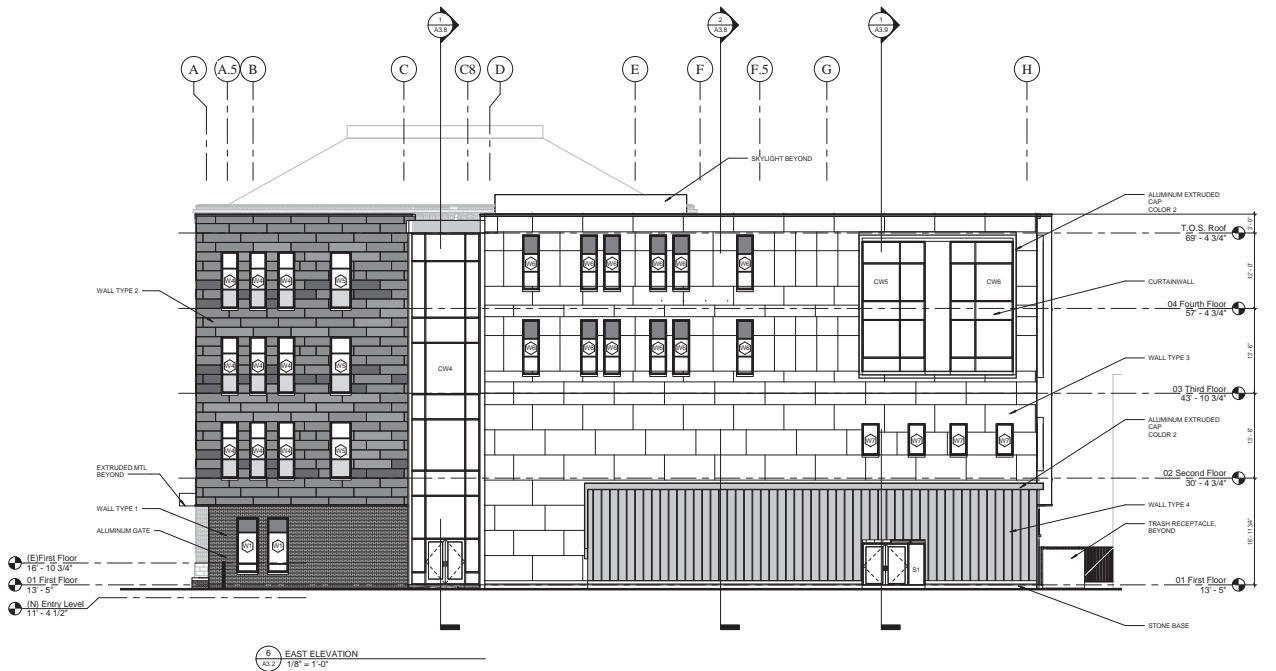
1 WEST ELEVATION
AS.1 1/8" = 1'-0"

EXTERIOR WALL TYPES



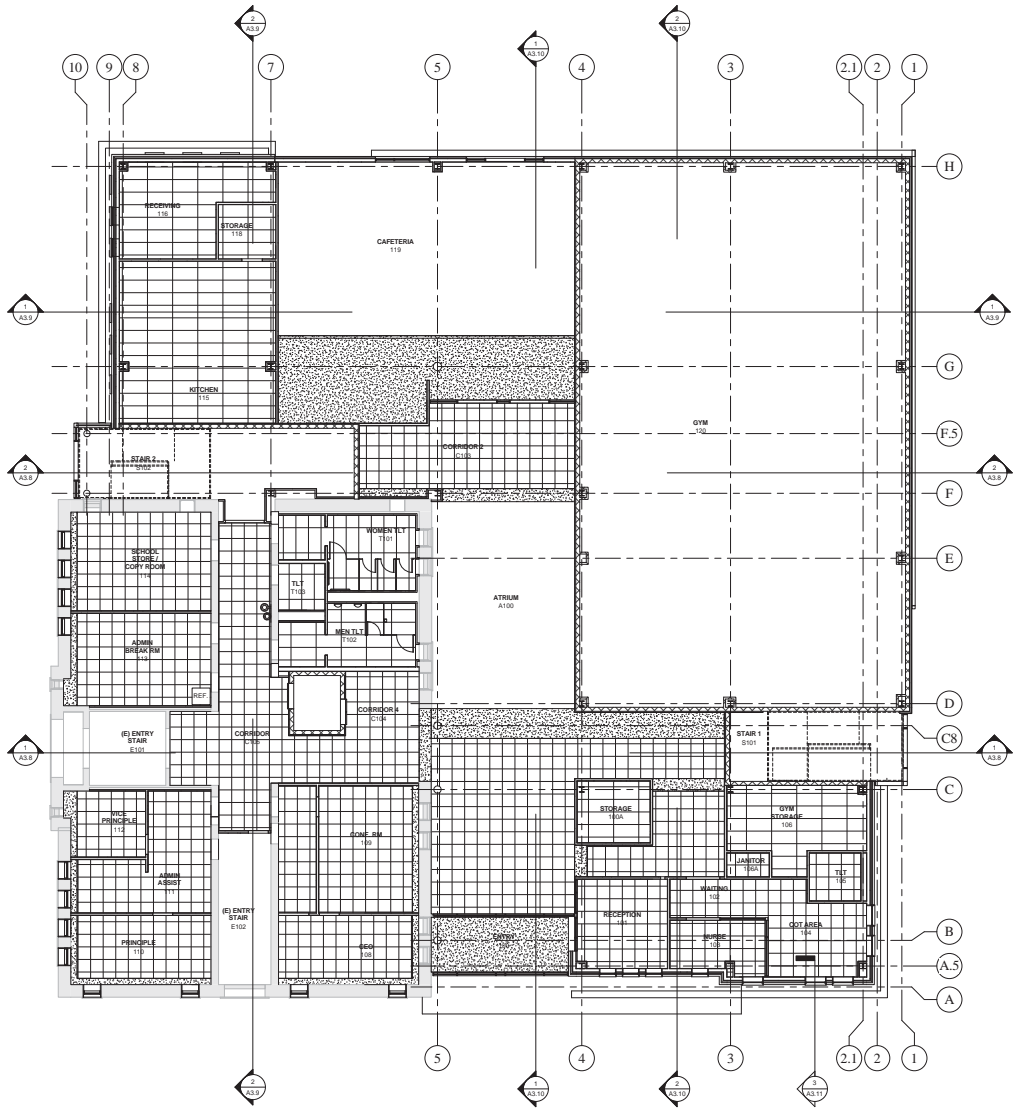
ELEVATION NOTES

- CONTROL JOINTS SHOWN ARE EXTERIOR CONTROL JOINTS. SEE PLAN FOR BLOCK CONTROL JOINTS.
- COORDINATE LOUVER REQUIREMENTS, QUANTITIES & SIZES WITH MECHANICAL DWGS. ANY REQUIRED LOUVERS NOT SHOWN ON THE ELEVATIONS MUST BE PROVIDED. COORDINATE LOCATIONS WITH THE ARCHITECT.
- ALL LOUVERS, LIGHTS OR SPEAKERS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- ALL LIGHTS OR SPEAKERS SHOWN BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED BETWEEN THE SAME.
- HATCH INDICATES BRICK ACENT BAND.
- ALL EXTERIOR STOREFRONT TO BE COLOR "A", UNLESS NOTED OTHERWISE. ALL EXTERIOR HORIZONTAL STOREFRONT NUMBERS ARE TO RECEIVE 4" EXTENSION CAP COLOR "B". PUNCHED WINDOWS OPENINGS DO NOT RECEIVE THE EXTENSION CAP.

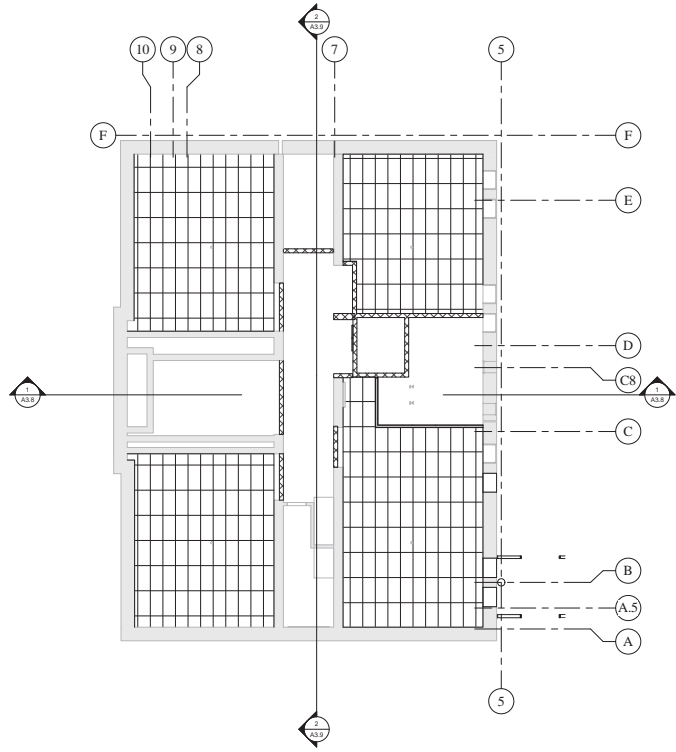


ELEVATION NOTES

- CONTROL JOINTS SHOWN ARE EXTERIOR CONTROL JOINTS. SEE PLAN FOR BLOCK CONTROL JOINTS.
- COORDINATE LOUVER REQUIREMENTS, QUANTITIES & SIZES WITH MECHANICAL DWGS. ANY REQUIRED LOUVERS NOT SHOWN ON THE ELEVATIONS MUST BE PROVIDED. COORDINATE LOCATIONS WITH THE ARCHITECT.
- ALL LOUVER LIGHTS OR SPEAKERS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- ALL LIGHTS OR SPEAKERS SHOWN BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED BETWEEN THE SAME.
- HATCH INDICATES BRICK ACCENT BAND.
- ALL EXTERIOR STOREFRONT TO BE COLOR "A" UNLESS NOTED OTHERWISE. ALL EXTERIOR HORIZONTAL STOREFRONT MEMBERS ARE TO RECEIVE A 1/2" EXTENSION CAP COLOR "B". PUNCHED WINDOWS OPENINGS DO NOT RECEIVE THE EXTENSION CAP.



01 FIRST FLOOR RCP
1/8" = 1'-0"



01 BASEMENT FLOOR RCP
1/8" = 1'-0"

ISSUED FOR SCHEMATIC PRICING

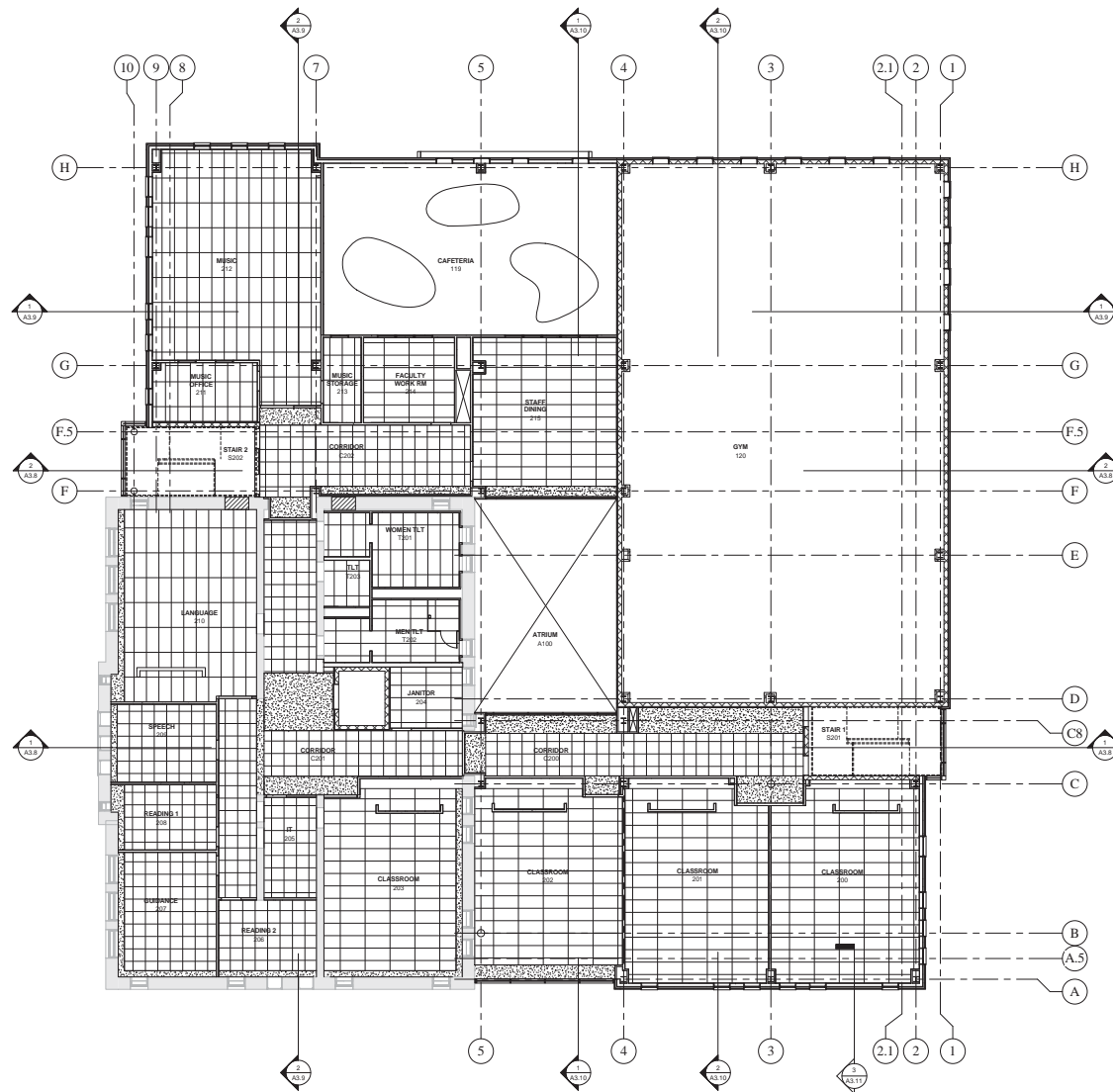
BASEMENT & FIRST
FLOOR RCP'S

CHRISTOPHER COLUMBUS CHARTER SCHOOL
AT
1329 E. Moyamensing Avenue
PHILADELPHIA COUNTY PHILADELPHIA, PA

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ADD. DRAWN BY	DRW 1
CHECKED BY	CHK 1
SHEET NO.	1

A6.1



1 02 SECOND FLOOR RCP
A6.2 1/8" = 1'-0"

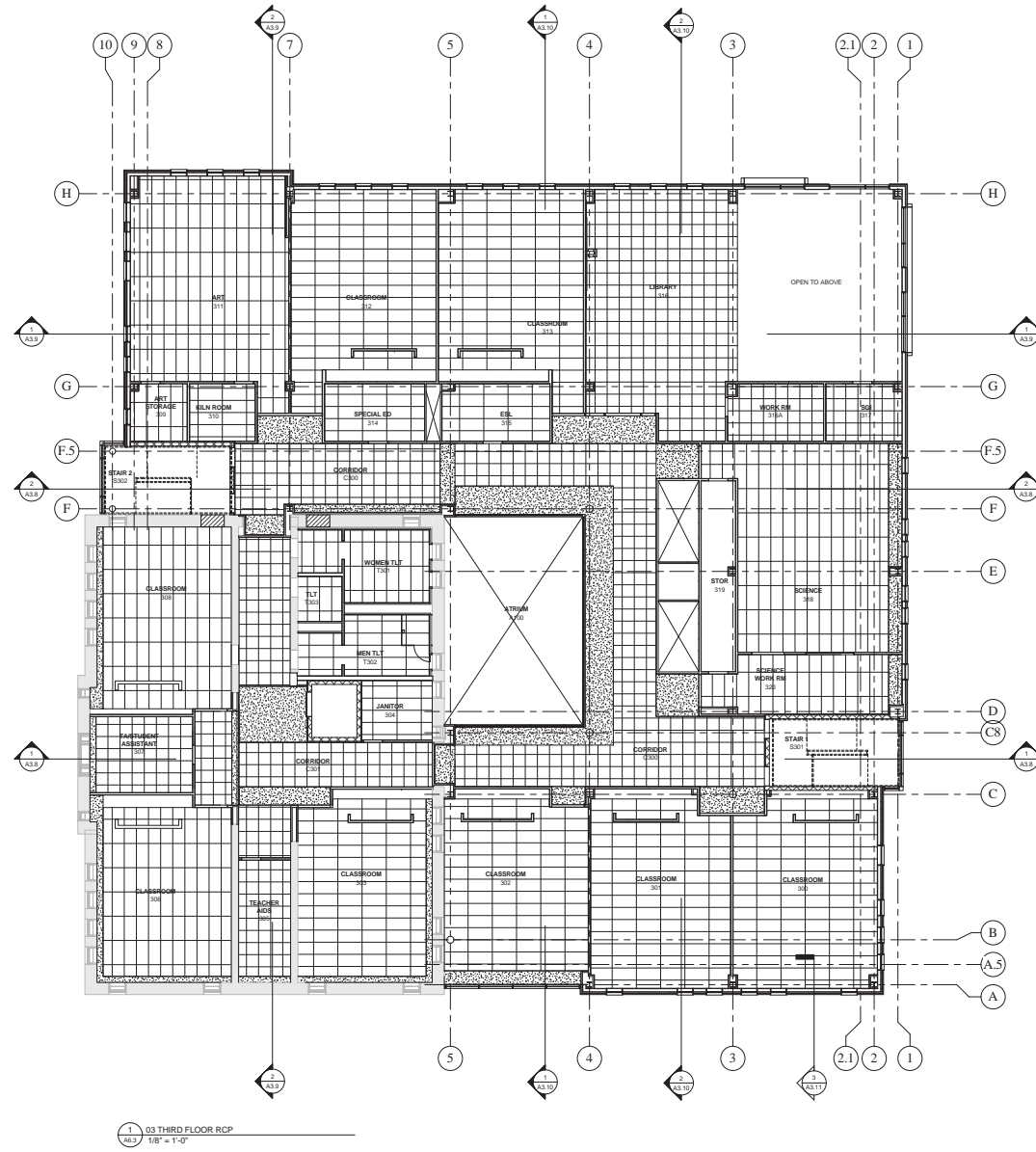
ISSUED FOR SCHEMATIC PRICING

SECOND FLOOR RCP

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DATE	10.04.2010
SCALE	1/8" = 1'-0"
DRAWN BY	Barry
CHECKED BY	Checker
SHEET NO.	

A6.2

CHRISTOPHER COLUMBUS CHARTER SCHOOL
AT
1329 E. Moyamensing Avenue
PHILADELPHIA COUNTY
PHILADELPHIA, PA



ISSUED FOR SCHEMATIC PRICING

THIRD FLOOR RCP

JOB NO. 2008.00
DATE 01.04.2010
SCALE 1/8" = 1'-0"
DRAWN BY R. J. J.
CHECKED BY
SHEET NO.

A6.3

CHRISTOPHER COLUMBUS CHARTER SCHOOL
AT
1329 E. Moyamensing Avenue
PHILADELPHIA COUNTY PHILADELPHIA, PA

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