

ADDRESS: 230, 232, 234-36 S 4TH ST

Proposal: Remove rear ells and additions; construct additions

Review Requested: Review In Concept

Owner: 234 S. 4th St. LP and Forman Family Realty Trust

Applicant: Ming-Lee Yuan, Olson Kundig

History: 1805

Individual Designation: 4/30/1957

District Designation: Society Hill Historic District, Significant, 3/10/1999

Staff Contact: Jon Farnham, jon.farnham@phila.gov, 215-686-7660

BACKGROUND:

This in-concept application proposes to combine two historic rowhouses and construct large additions at the rear and on an adjacent vacant lot to create one large residence. The Architectural Committee reviewed the first in-concept application in July 2019. The Committee objected to the proposal and the application was withdrawn before the August meeting of the Historical Commission. The Architectural Committee reviewed a second in-concept application in August 2019 and voted to recommend denial of it, pursuant to Standards 9 and 10 and Section 14-1005(6)(d) of the preservation ordinance, the demolition prohibition. The applicants were granted a one-month continuance following the Architectural Committee's August meeting, during which they developed a third design. At its 11 October 2019 meeting, the Historical Commission considered and then remanded the third in-concept application to the Architectural Committee for review at its 22 October 2019 meeting. The Commission remanded it because the third design, which the Architectural Committee had not seen, deviated significantly from the second.

The application proposes work to a site that consists of three parcels and includes two historic rowhouses at 230 and 232 S. 4th Street and a garden surrounded by a brick wall with fence. The rowhouses face S. 4th Street and open onto Leithgow at the rear. The garden runs west from 4th Street to Leithgow Street along Locust Street. The application proposes to combine the parcels, join the historic rowhouses, remove the rear ells of the two rowhouses as well as later garage and dining room additions, and construct additions to create one large dwelling. The houses date to about 1805. The rear ells may or may not be original, but are evident in their current forms on the 1860 Hexamer & Locher map. The rear dining room addition at 232 S. 4th Street was constructed by architect Albert Kelsey in 1913 for the Fire Insurance Society of Philadelphia, an insurance industry trade organization that had converted the rowhouse into a clubhouse. The application proposes to remove the rear ells and additions completely and construct new side and rear additions. The proposed additions would be clad in brick with metal windows. The additions would be in the style of nearby mid twentieth-century Modernist houses. The new design includes four courtyard areas and a garage accessed from Leithgow.

To date, the reviews have focused on whether the removal of the rear ells and additions would constitute a demolition or an alteration as defined in the historic preservation ordinance. The applicants have argued that the rear ells are not character-defining features, are not primary features, and were not intended to be publicly visible, and, therefore, their removal is not a "demolition." The historic preservation ordinance, at Section 14-203(88), defines a demolition as:

Demolition or Demolish.

The razing or destruction, whether entirely or in significant part, of a building, structure, site, or object. Demolition includes the removal of a building, structure, site, or object from its site or the removal or destruction of the façade or surface.

If the removal of the rear ells and additions is a demolition in the legal sense, the Historical Commission may only approve it after finding that there is no feasible reuse for the buildings without the demolition or that the demolition is necessary in the public interest. If the removal is found to be an alteration, the Commission may approve it at its discretion. For the removal to constitute a demolition in the legal sense, it must be a “razing or destruction ... in significant part.” The Historical Commission must determine whether the rear ells and additions are “significant parts” of the historic rowhouses. The application now includes a report from a historic preservation consultant, who concludes that:

As these rear appendages were secondary in character and are not character-defining, their removal does not alter the historic character of the subject properties and should not be considered a demolition under Section 14-1005(6)(d). Additionally, the ells are not readily visible from primary vantage points and thus their removal will not negatively impact the feeling of the historic district.

The Historical Commission has reviewed many applications proposing the removals of rear ells since the enactment of the current preservation ordinance in 1985, when it gained the authority to deny demolitions. The Commission has approved some and denied others, always based on the unique circumstances of the case. Perhaps most famously, the Historical Commission approved the removal of the rear ell or wing of the Dilworth House as an alteration, not a demolition. That case was litigated for years. Ultimately, the Commonwealth Court decided that the Historical Commission may permit the removal of a portion of historic building as an alteration if it finds that the portion in question is not historically significant based on sufficient evidence on the record.

The site in question is not identified as having archaeological potential in the inventory of the Society Hill Historic District, but the district was designated under Criterion I, authorizing the Historical Commission to seek to preserve archaeological resources at all sites classified as contributing and significant, even if they are not identified as having archaeological potential.

SCOPE OF WORK:

- Remove rear sections of the buildings at 230 and 232 S. 4th Street.
- Construct additions.

STANDARDS FOR REVIEW:

The Secretary of the Interior’s Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 8: Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
 - The application does not address the potential for archaeological resources. It is, however, only an in-concept application which seeks the Historical Commission’s guidance on the removals and additions. An in-concept application is not obligated to address all aspects of a project, but only those aspects for which it seeks guidance. The applicant defines the scope of an in-concept application. An application for final approval could address archaeology.
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - Whether this application satisfies the first requirement of Standard 9 depends on whether the rear ells and additions are considered “historic materials that

characterize the property.” The proposed additions are differentiated from the old and are compatible in massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- *Standard 10: New Additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*
 - Whether this application satisfies Standard 10 depends on whether the rear ells and additions are considered part of “the essential form and integrity of the historic property.”
- *Section 14-203(88) of the Philadelphia Code defines “Demolition or Demolish” as “The razing or destruction, whether entirely or in significant part, of a building, structure, site, or object. Demolition includes the removal of a building, structure, site, or object from its site or the removal or destruction of the façade or surface.”*
 - Whether this application would result in a “demolition” in the legal sense depends on whether the removal of the rear ells and additions is considered a “razing or destruction ... in significant part.”

STAFF RECOMMENDATION: The staff offers no recommendation on whether the rear ells and additions are historically significant and whether their removals would constitute a demolition in the legal sense until it has visited the site and inspected the rear ells in person. The staff recommends that the proposed additions satisfy the “new construction” section of Standard 9.

Philadelphia Historical Commission

1515 Arch Street, 13th Floor
Philadelphia, PA 19102

October 2, 2019

This application is for in-concept approval. The property owner's names are 234 S. 4th Street LP and Forman Family Realty Trust.

We are resubmitting drawings and report based on feedback from the Architectural Committee meeting on August 27, 2019. The plan remains unchanged from the August 13th submittal, but the massing has been increased in response to Architectural Committee Meeting. A Historic Property Assessment report is included prepared by Heritage Consulting Group. The previously submitted Building Permit Application remains the same.

The proposed project combines lots 230, 232, and 234-236 S. 4th St. into a single residential lot. The existing commercial offices on 232 S. 4th St. will be returned back to residential. The lot consolidation process is currently under review. The project involves the continued restoration of the primary historic facades on S. 4th Street of 230 and 232, alteration removing secondary fabric in the rear, and construction of addition that will also incorporate the 234-236 site.

Regards,

A handwritten signature in dark ink, appearing to be 'Tom' followed by a stylized 'K'.

Tom Kundig



Reference image from previously submitted packet – August 13, 2019 – See resubmittal for updated massing. Site plan remains unchanged



Society Hill Residence

230-236 SOUTH FOURTH STREET

PHILADELPHIA HISTORICAL COMMISSION
IN-CONCEPT RESUBMISSION - October 2, 2019

OLSON KUNDIG

TEAM:

OWNER:

234 S. 4TH ST., LP and Forman Family Realty Trust
215.817.3789

ARCHITECT:

OLSON KUNDIG ARCHITECTS
159 South Jackson Street
Seattle, WA 98104
206.624.5670
Principal Architect: Tom Kundig
Contact: Ming-Lee Yuan - ming@olsonkundig.com

HISTORIAN:

HERITAGE CONSULTING GROUP
15 W. Highland Avenue
Philadelphia, PA 19118
215.248.1260
Contact: Nick Kraus - nkraus@heritage-consulting.com

GENERAL CONTRACTOR:

PHILLIP JOHNSON CONSTRUCTION
728 Pine Street
Philadelphia, PA
19106-4005
215.790.0725
Contact: Phillip Johnson - phillip@phillipjohnsonconstruction.com

CONTENTS:

01 - Society Hill and Wider Context	05
Introduction	06
Evolution of Neighborhood Fabric	07
Portraits of Society Hill	08
Evolution of Site	09
02 - Project Site	12
Project Description	13
Massing Diagrams	14
Lot Consolidation	15
Project Site - Existing Building Facades	17
Project Site - Additional Context Images	20
03 - Proposed Design	24
Site Plan	25
Exterior Renderings	26
Existing and Proposed Elevations	31
04 - Character of the Neighborhood	41
Horizontal and Vertical Articulation	42
Pedestrian Experience	44
Greenways and Gardens	46
05 - Itemized Zoning Departures	48

01

Society Hill and
Wider Context

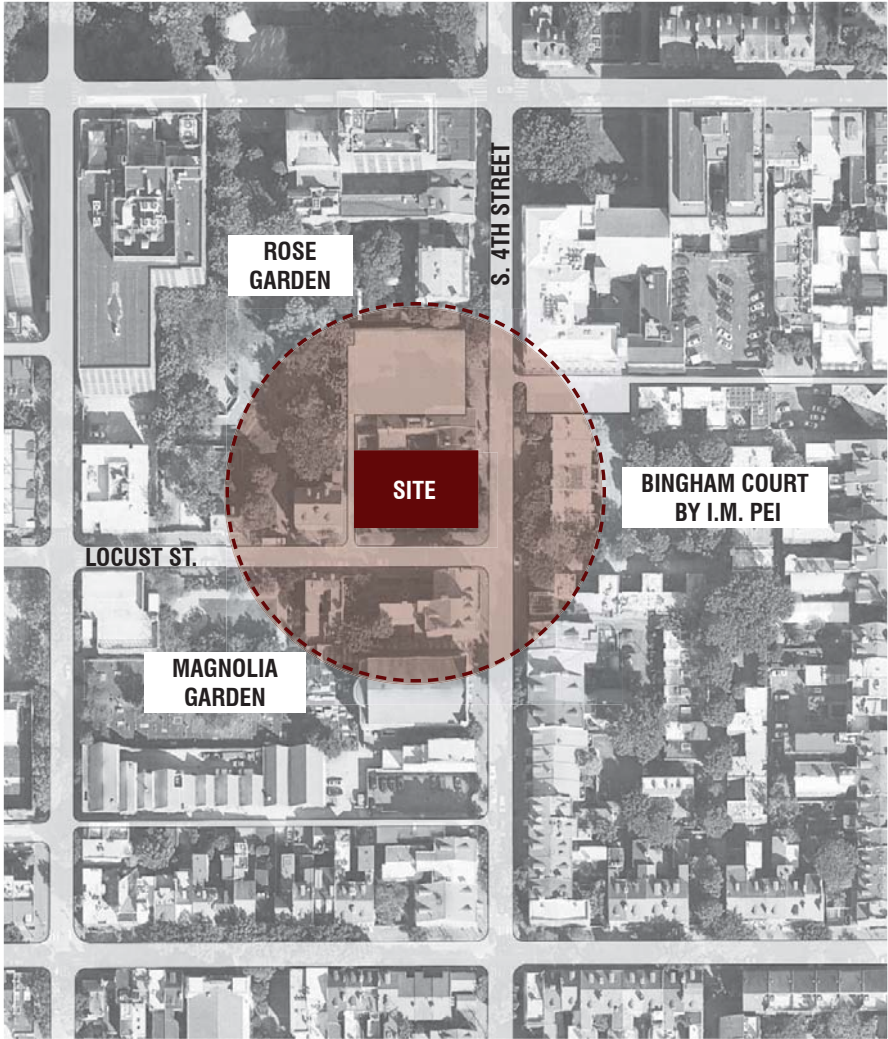
INTRODUCTION

SOCIETY HILL AND WIDER CONTEXT

SITE



CONTEXT MAP - NTS



SITE MAP - NTS



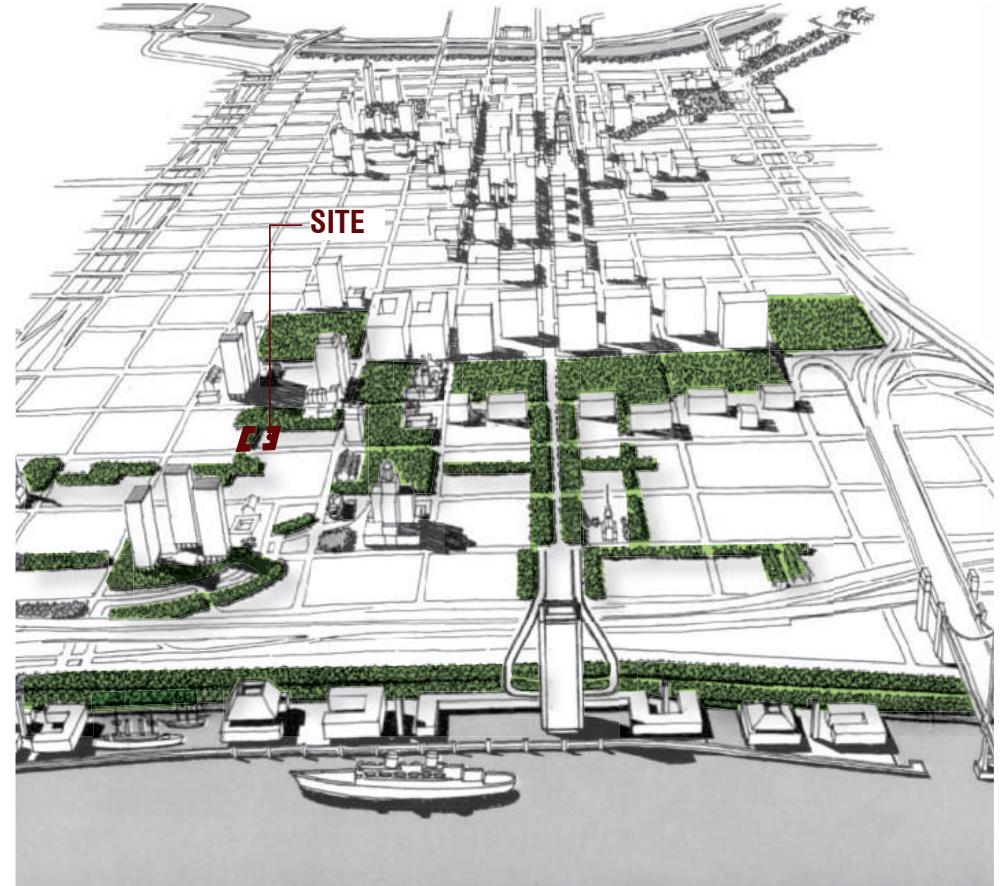
EVOLUTION OF NEIGHBORHOOD FABRIC

SOCIETY HILL AND WIDER CONTEXT



1886 HISTORIC MAP - NTS

LIBRARY OF CONGRESS
NOT TO SCALE



1960s ILLUSTRATION OF BACON GREENWAY PLAN - NTS

PORTRAITS OF SOCIETY HILL



EVOLUTION OF SITE

SOCIETY HILL AND WIDER CONTEXT



230 - 236 S. 4TH STREET - CIRCA 1857

Looking at northwest corner of S. 4th and Locust Street (previously Prune St.)

Philadelphia Department of Records:

ADDRESS: Locust St and S 04th St

TITLE: Copies From Old Book

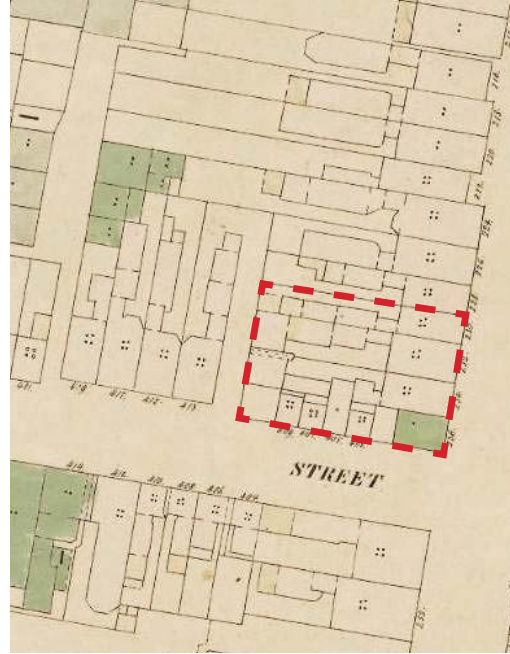
DESCRIPTION:

Copies from old book. Date is the date when the copies were made.

NOTES:

House at corner of prune (now locust) and 4th street

COURTESY OF: DOR ARCHIVES
HISTORIC COMMISSION - 2456-7
ASSET ID: 70357
PHOTOGRAPHER: WIDDOP
DATE: 5/24/1965



HISTORIC MAP - CIRCA 1858 - 1860

HEXAMER AND LOCHER PLATE 07A - PHILADELPHIA ATLAS
NOT TO SCALE



234 - 236 S. 4TH STREET - CIRCA 1910

Looking south on S. 4th street at corner of S. 4th and Locust Street (previously Prune St.)

Philadelphia Department of Records:

ADDRESS: 230 S 04th St

TITLE: 230-232 South 4th Street

DESCRIPTION:

Film copy of 230-232 South 4th Street. Probably taken in 1910.

NOTES:

Photo noted as a film copy of original photograph, taken approximately in 1910. Man standing on steps, man on ladder in front of store, people walking down the street.

COURTESY OF: DOR ARCHIVES
HISTORIC COMMISSION - 42376-0
ASSET ID: 73206
PHOTOGRAPHER: BLANCK
DATE: 8/31/1960

EVOLUTION OF SITE

SOCIETY HILL AND WIDER CONTEXT



232 S. 4TH STREET - CIRCA 1959

Looking at northwest corner of S. 4th and Locust Street (previously Prune St.)

Philadelphia Department of Records:

ADDRESS: 232 S 04th St

TITLE: 232 South 4th Street

COURTESY OF: DOR ARCHIVES
DEPT. OF PUBLIC PROPERTY - 37334-0-
ASSET ID: 88056
PHOTOGRAPHER: Cuneo
DATE: 02/17/1959



232 S. 4TH STREET - CURRENT 2019

02 | Project Site

PROJECT SITE

PROJECT DESCRIPTION AND HISTORIC DESIGNATION ALTERATION AND ADDITION

PROJECT DESCRIPTION

The proposed project combines lots 230, 232, and 234-236 S. 4th Street into a single residential lot. The existing commercial spaces on 232 S. 4th St. will be returned back to residential. The new property will be single family residential instead of multi-family as allowable by code. The lot consolidation process is currently under review. The project involves the continued restoration of the historic facades on S 4th Street of 230 and 232, alteration removing secondary fabric in the rear, and construction of addition.

HISTORIC DESIGNATION:

230 S. 4TH ST:

3 1/2-story, 2-bay, Flemish bond brick, Federal house. Marble stoop and watertable; cellar bulkhead; single-leaf 8-panel door; fanlight; frontispiece with punch and gouge and reeding detail; storm sash; marble sills and lintels; paneled shutters on 1st floor, louvered on 2nd and 3rd; marble beltcourse at 2nd and 3rd floors; bracketed molded wood cornice with punch and gouge detailing; pedimented dormer with arched windows.

Built c. 1805 by Isaac and William Paxson, iron mongers. Restoration 1966 by Carl Massara. Significant.

232 S. 4TH ST:

(a.k.a. 401-09 Locust Street) 3 1/2-story, 3-bay, Flemish bond brick, Federal building. Marble watertable; cellar bulkhead; square-head wood door surround with single-leaf 6-panel door and 3 light transom; 6/6 double-hung sash on all floors; security grills on 1st floor windows; marble sills and keystone jack arches; paneled shutters; stone beltcourse at 2nd and 3rd floors; bracketed molded wood cornice with punch and gouge detailing; pedimented dormer with arched sash.

South elevation: stuccoed; two rear additions. Garden extends south to Locust Street fronted by 1/2 foot wrought iron fence with brick and stone base.

Built c. 1805 for Thomas Amstrong, Esquire. Significant.

SEE HISTORIAN PACKAGE FOR SUPPLEMENTAL INFORMATION

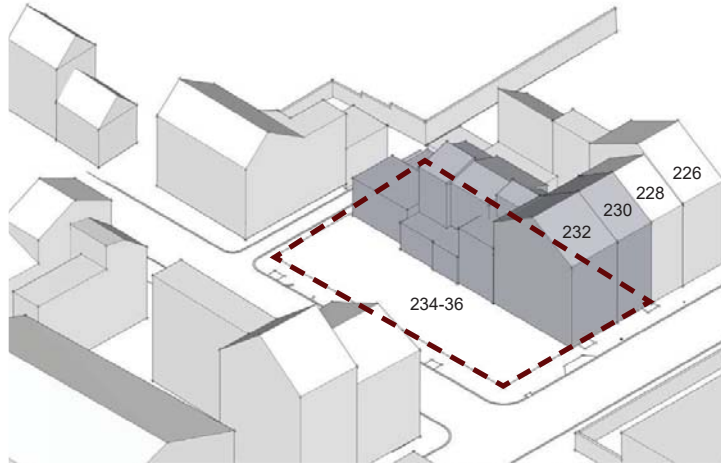


PROJECT SITE

EXISTING MASSING DIAGRAMS AND MAXIMUM DEVELOPMENT POTENTIAL

Comments per Society Hill Neighborhood Plan:

Issue: This parcel is an attractively landscaped corner lot with a surface parking area accessed off of Locust Street. The parcel was originally the garden to the significant historic house at 232 S. 4th Street, but has been subdivided. The site is a potential development parcel. There is concern that development would eliminate an attractive open space and that new development may not be consistent with the character of the Historic District.

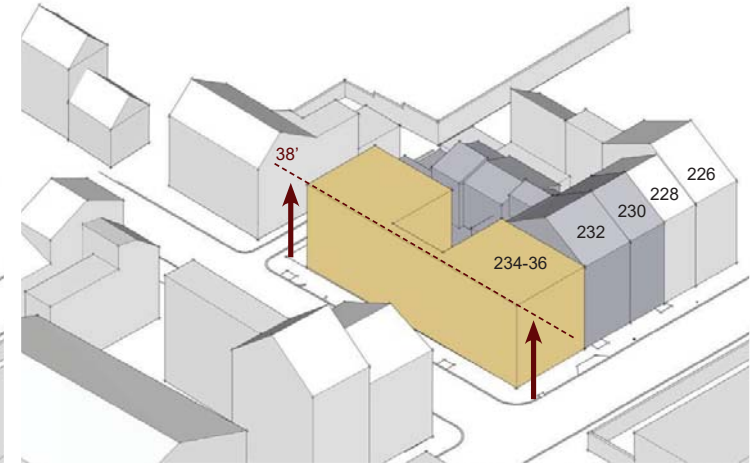


Existing Site Diagram

Current Use: Landscaped open space and surface parking area
Building Area: N/A
Number of Stories: N/A
Existing FAR: N/A
Zoning: RM-1 Residential Multi-Family
CTR Center City Overlay District Subareas:
Residential Parking Control Area,
Locust Street Area
Parking Garage Ground Floor Use Control Area
Residential District Control Area
Commercial District Control Area
Society Hill Area (6 subareas)

Open area requirement for 230 and 232 = 25%
Open area requirement for 234-36 = 20%
Combined lots Open area requirement = 20%

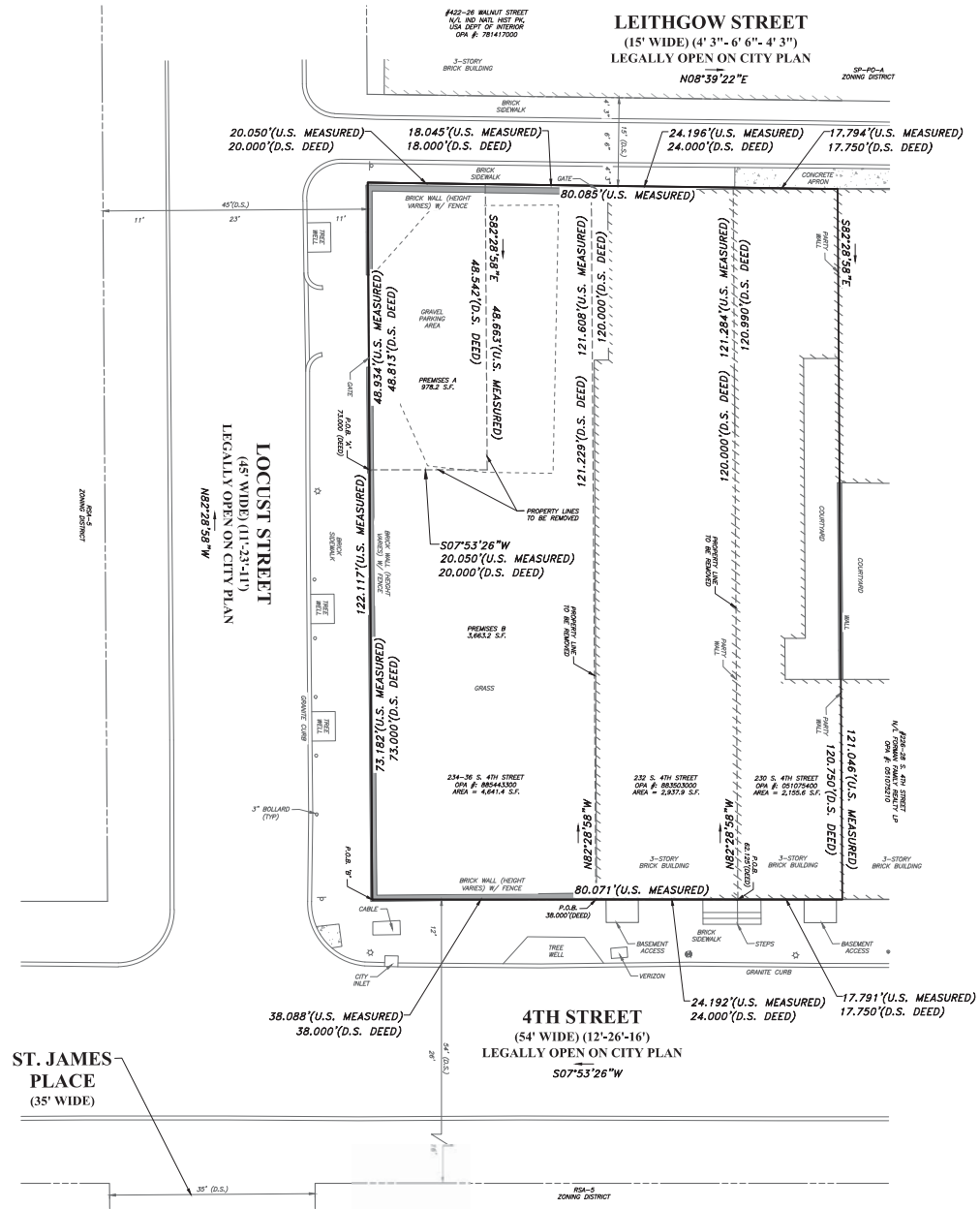
230/232 appear to currently not meet open area requirement.



Max Development Potential Diagram

Max Building Height: 38'-0" (3-4 Stories)
Parking Requirement: 0
Maximum Lot Coverage: 80% (Corner Lot)
Maximum FAR: 2.4 (based on 3 Stories)
Maximum Potential Development Area: 8,974 SF
Number of Residential Units based on 480 SF of Lot Area per Unit: 10

LOT CONSOLIDATION PLAN - 1"=20'



PROJECT SITE

COLLAGED PHOTOGRAPH OF EXISTING
BUILDING FACADE ON SOUTH 4TH

Project Site



238 S. 4th St.
Dated: 06/2019

Locust St.
Dated: 06/2019

234-236 S. 4th St.
Dated: 06/2019

232 S. 4th St.
Dated: 06/2019

230 S. 4th St.

228 S. 4th St.
Dated: 06/2019

228 S. 4th St.
Dated: 06/2019

Leithgow Street Parking
Dated: 06/2019

PROJECT SITE

COLLAGED PHOTOGRAPH OF EXISTING
BUILDING FACADE ON LOCUST STREET

Project Site



S. Leithgow St.
Dated: 06/2019

234-236 S. 4th Street along Locust Street
Dated: 06/2019

S. 4th Street
Dated: 06/2019

PROJECT SITE

COLLAGED PHOTOGRAPH OF EXISTING BUILDING
FACADE ON SOUTH LEITHGOW STREET

Project Site



228 S. 4th St.
Dated: 06/2019

230 S. 4th St.
Dated: 06/2019

232 S. 4th St.
Dated: 06/2019

234-236 S. 4th St.
Dated: 06/2019

PROJECT SITE

ADDITIONAL CONTEXT IMAGES - 4TH ST. AND LOCUST ST.



Image Key



Looking north at the intersection of S. 4th Street and Locust Street - Dated June 2019



Looking west at the intersection of S. 4th Street and Locust Street - Dated June 2019



Looking southwest on S. 4th Street towards 230/232 S. 4th Street - Dated June 2019



Looking north at the intersection of Locust Street and S. Leithgow Street - Dated June 2019



Looking South at the intersection of Locust Street and S. Leithgow Street - Dated June 2019



Looking South at Bingham Court from building interior at 230 S. 4th Street - Dated August 2019

PROJECT SITE
VIEWS FROM ROSE GARDEN

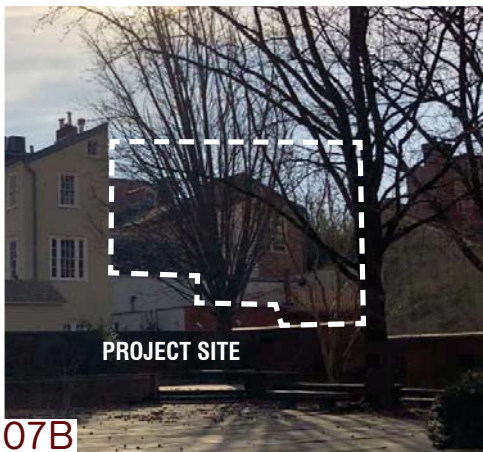


Image Key



07A

Looking southeast from Rose Garden towards proposed site of work - Dated June 2019



07B

Looking southeast from Rose Garden towards proposed site of work in winter- Dated February 2019



08

Panaramic view from Rose Garden towards proposed site of work - Dated June 2019

PROJECT SITE

PROPERTY CURRENT CONDITIONS



Existing Condition - Side Courtyard of 230 S. 4th Street looking east.
Photo Dated - 08.27.2019



Existing Condition - Deck of 230 S. 4th Street looking east.
Photo Dated - 08.27.2019

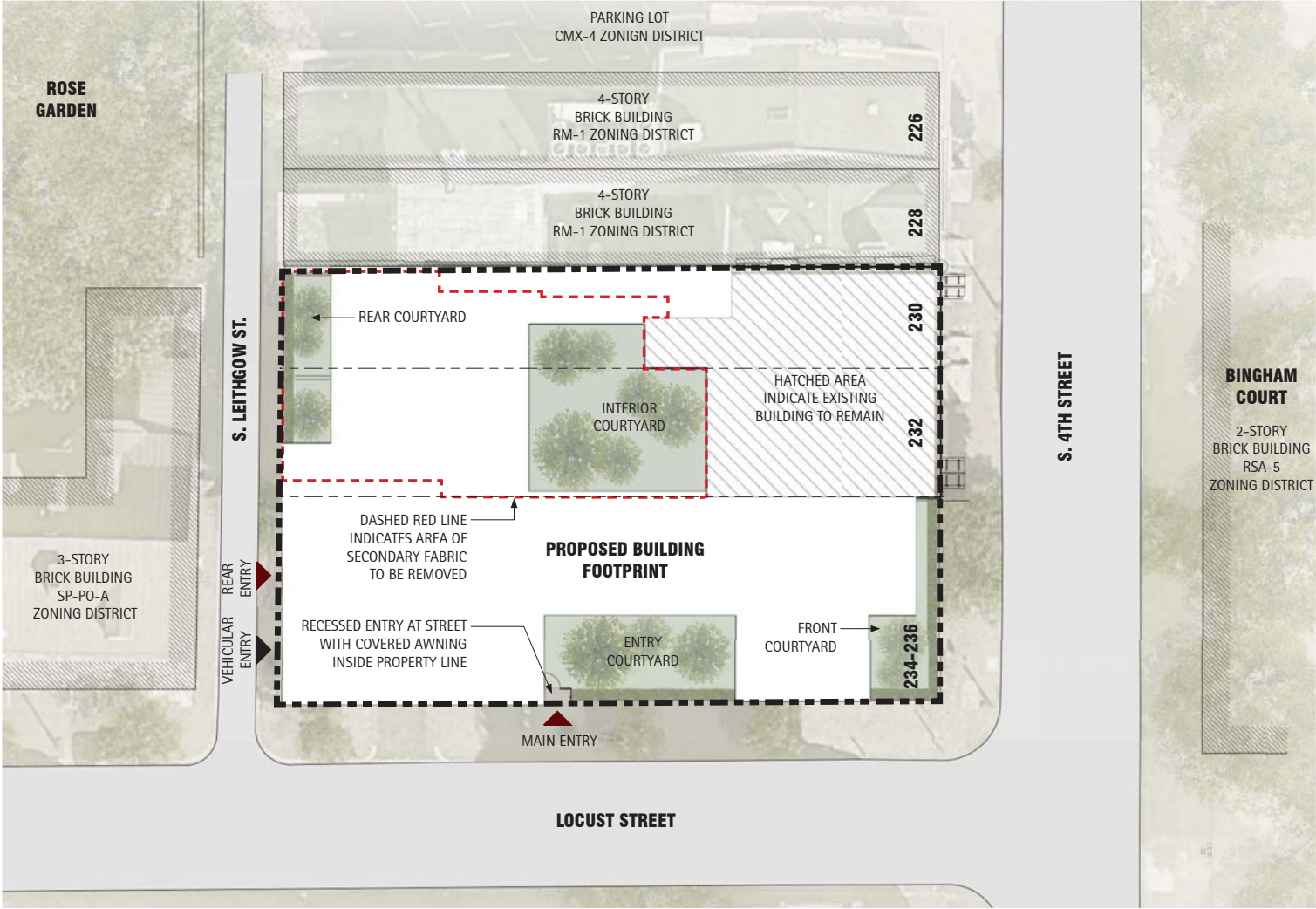


Existing Condition - Side Courtyard of 230 S. 4th Street looking west.
Photo Dated - 08.27.2019

03

Proposed
Design

PROPOSED DESIGN
SITE PLAN



0' 5' 10' 20'



PROPOSED DESIGN

RENDERING - LOCUST ST.



PROPOSED DESIGN

RENDERING - CORNER OF S. 4TH AND LOCUST ST.



PROPOSED DESIGN

RENDERING AT CORNER OF S. 4TH STREET AND LOCUST STREET - PEDESTRIAN EXPERIENCE



Vegetated street wall along Locust St. at 404 Locust Street.
Photo Dated - 08.27.2019



Private vegetated courtyards and plantings along pedestrian right-of-way at intersection of S. 4th Street and St. James Place.
Photo Dated - 08.27.2019



Private entry courtyards with plantings and wrought-iron fencing along pedestrian right-of-way at 409 Locust St.
Photo Dated - 08.27.2019



PROPOSED DESIGN

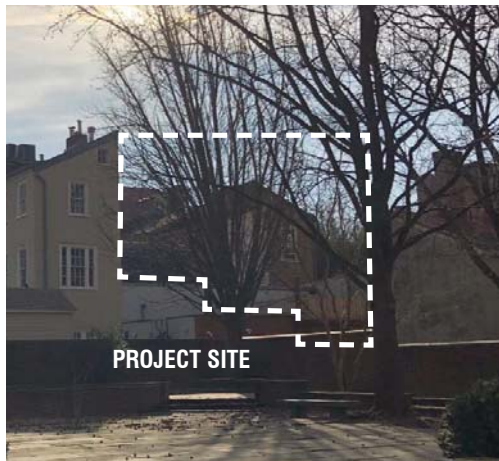
RENDERING - CORNER OF LOCUST ST. AND S. LEITHGOW ST.



VIEW FROM ROSE GARDEN



Looking southeast from Rose Garden towards proposed site of work - Dated June 2019



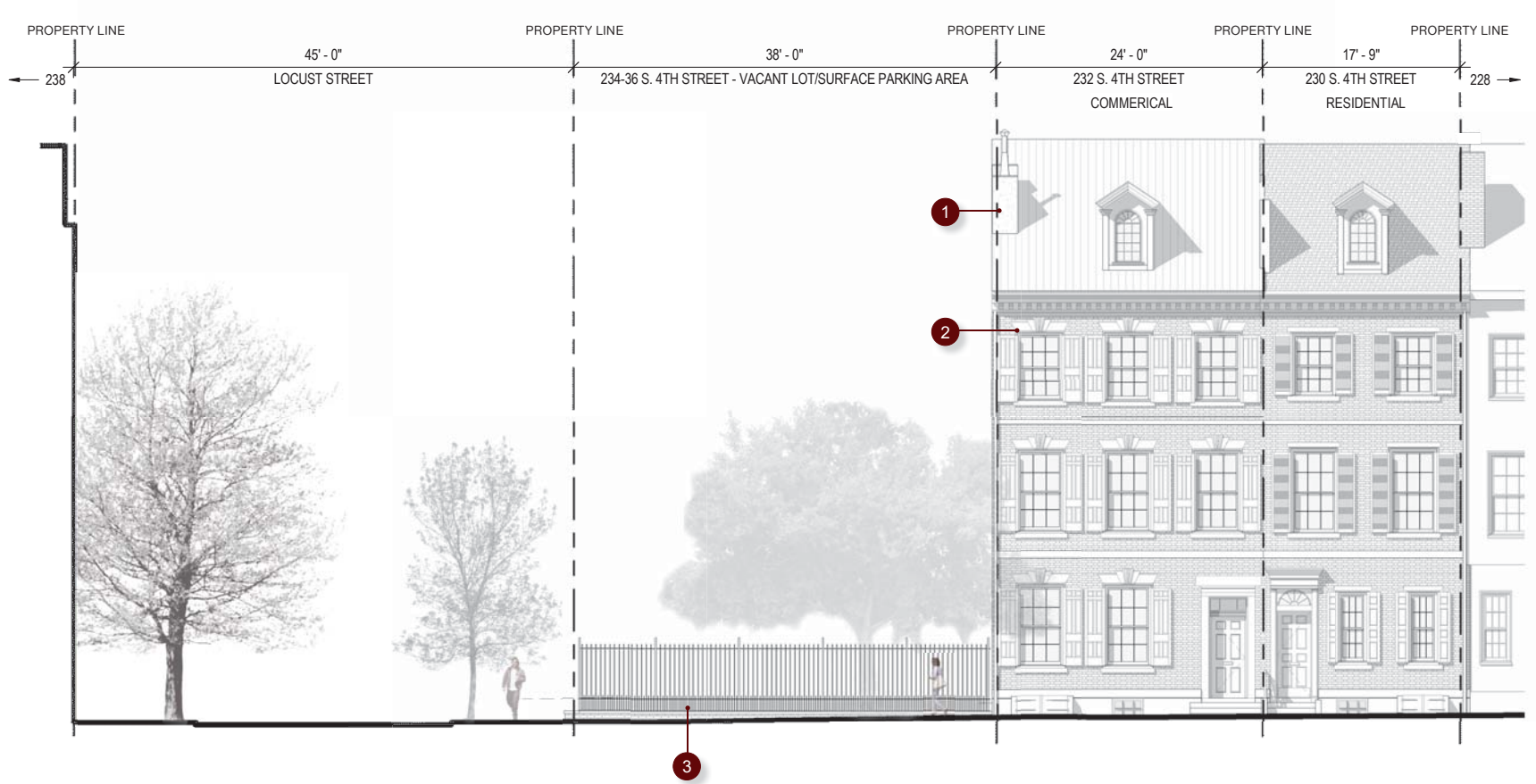
Looking southeast from Rose Garden towards proposed site of work in winter- Dated February 2019



Rendering showing proposed design as viewed from Rose Garden

EXTERIOR ELEVATION

EXISTING ELEVATION - SOUTH 4TH STREET



- 1. Existing chimney to remain
- 2. Existing facade to be protected prior to new construction work
- 3. Existing fence and masonry curb to be removed

East Elevation

Scale: 1"=10'-0"



HISTORIC DESIGNATION NOTES

232 S. 4Th street
3 1/2 Story, 3 bay, flemish bond brick,
federal building
Built c. 1805 For
Thomas armstrong, esquire.
Significant

230 S. 4Th street
3 1/2 Story, 2 bay, flemish bond
brick, federal house
Built c. 1805 By isaac and william
paxon, iron mongers.
Restoration 1966 by
Carl massara
Significant

- Pedimented
Dormer with
arched sash
- Bracketed molded
Wood cornice with
punch and gouge
detailing
- Flemish bond brick
- Stone belt course
- 6/6 Double-hung sash
on all floors
- Stone belt course
- Keystone jack arches
- Paneled shutters
- Marble sills
- Cellar bulkhead
- Marble watertable
- Security grills
- Square-head wood door surround
with single-leaf
6-Panel door and 3 light
Transom



- Paneled shutters
- Security grills
- Pedimented dormer with arched
windows
- Bracketed molded wood cornice
with punch and gouge detailing
- Marble sills and lintels; louvered
shutters on 2nd and 3rd floors
- Frontispiece with punch and
gouge and reeding detail; storm
sash
- Marble sills and lintels; paneled
shutters on 1st floor
- Fanlight
- Single-leaf 8-panel door
- Cellar bulkhead
- Marble watertable
- Marble stoop

- 1/2 Foot wrought iron fence
with brick and stone base
- South elevation:
Stuccoed; rear additions



EXTERIOR ELEVATION

PROPOSED ELEVATION - SOUTH 4TH STREET



- 1. Addition
- 2. Exterior finish: Brick to match 232/230 S. 4th Street facade
- 3. Thermally broken steel windows - Align sill and head with adjacent 232 windows
- 4. New wrought-iron fencing behind landscaped planting
- 5. Thermally broken steel windows
- 6. Masonry street wall at property line. Brick to match property at 232/230 S. 4th Street building setback
- 7. New brick chimney. Brick to match 232/230 S. 4th Street. Roof of 232 S. 4th Street to be protected and repaired

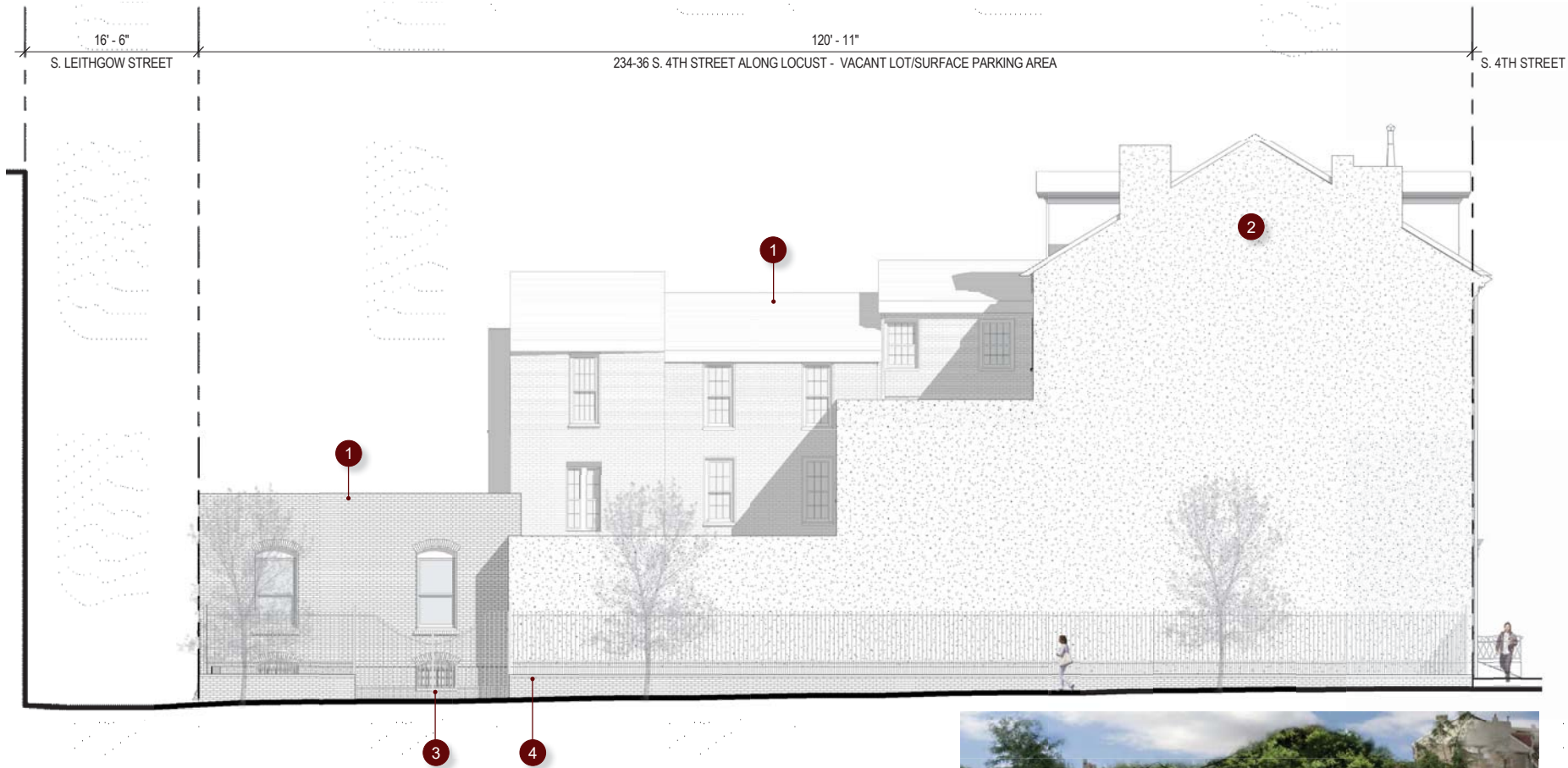
East Elevation

Scale: 1"=10'-0"



EXTERIOR ELEVATION

EXISTING ELEVATION - LOCUST STREET



- 1. Existing rear structures to be removed
- 2. Existing demising wall to be repaired and modified for new construction at 234-36 S. 4th Street
- 3. Existing gate to surface vehicular parking lot to be removed
- 4. Existing fence and masonry curb to be removed

South Elevation

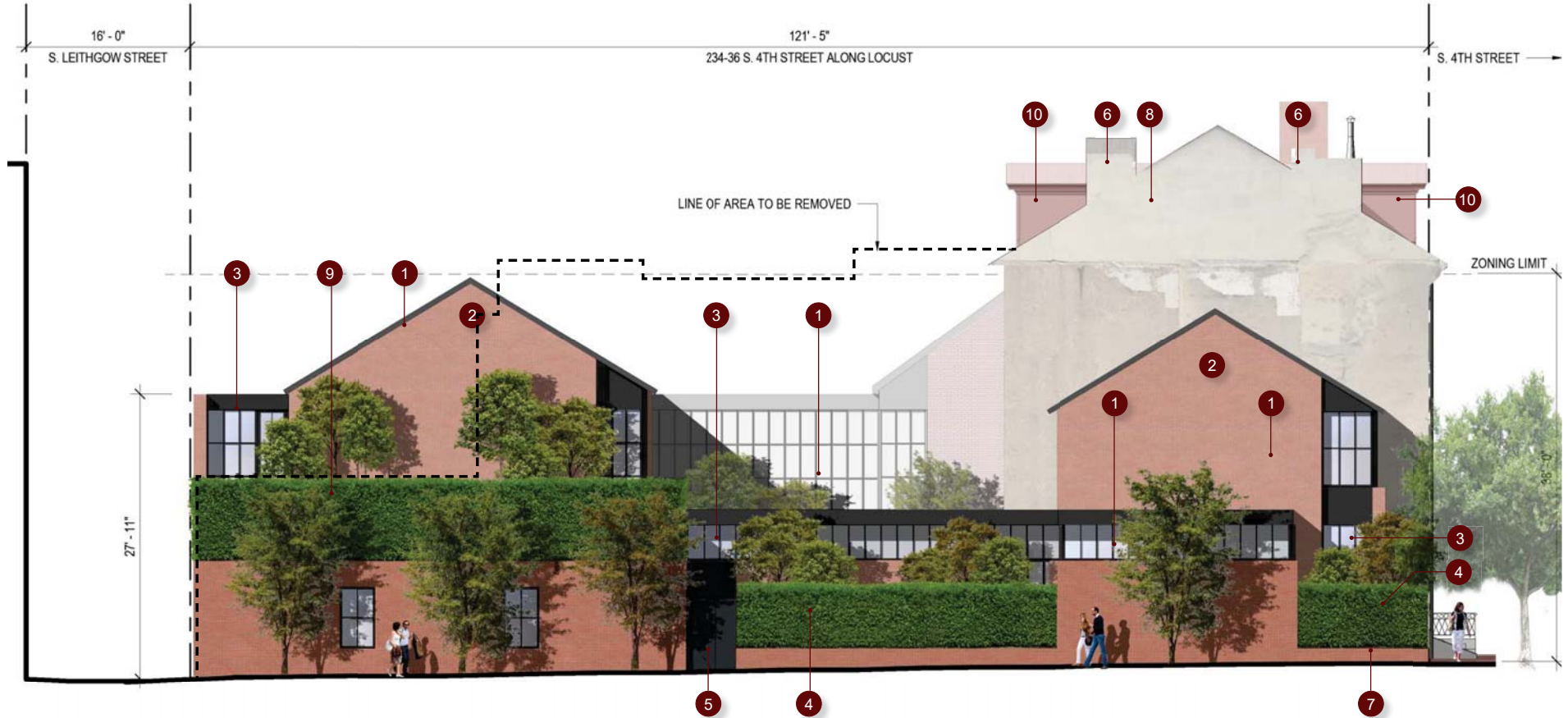
Scale: 1"=10'-0"



Locust Street looking North. See site context photos

EXTERIOR ELEVATION

PROPOSED ELEVATION - LOCUST STREET



1. Addition
2. Exterior finish: Brick to match 232/230 S. 4th Street facade
3. Thermally broken steel windows
4. New wrought-iron fencing behind landscaped planting
5. New recessed steel gate and canopy
6. Existing Chimney to remain
7. Masonry street wall at property line. Brick to match 232/230 S. 4th Street
8. Existing stucco at 232 S. 4th Street to remain. To be patched and repaired as necessary

9. New roof terrace at second level
10. Existing dormer beyond to remain

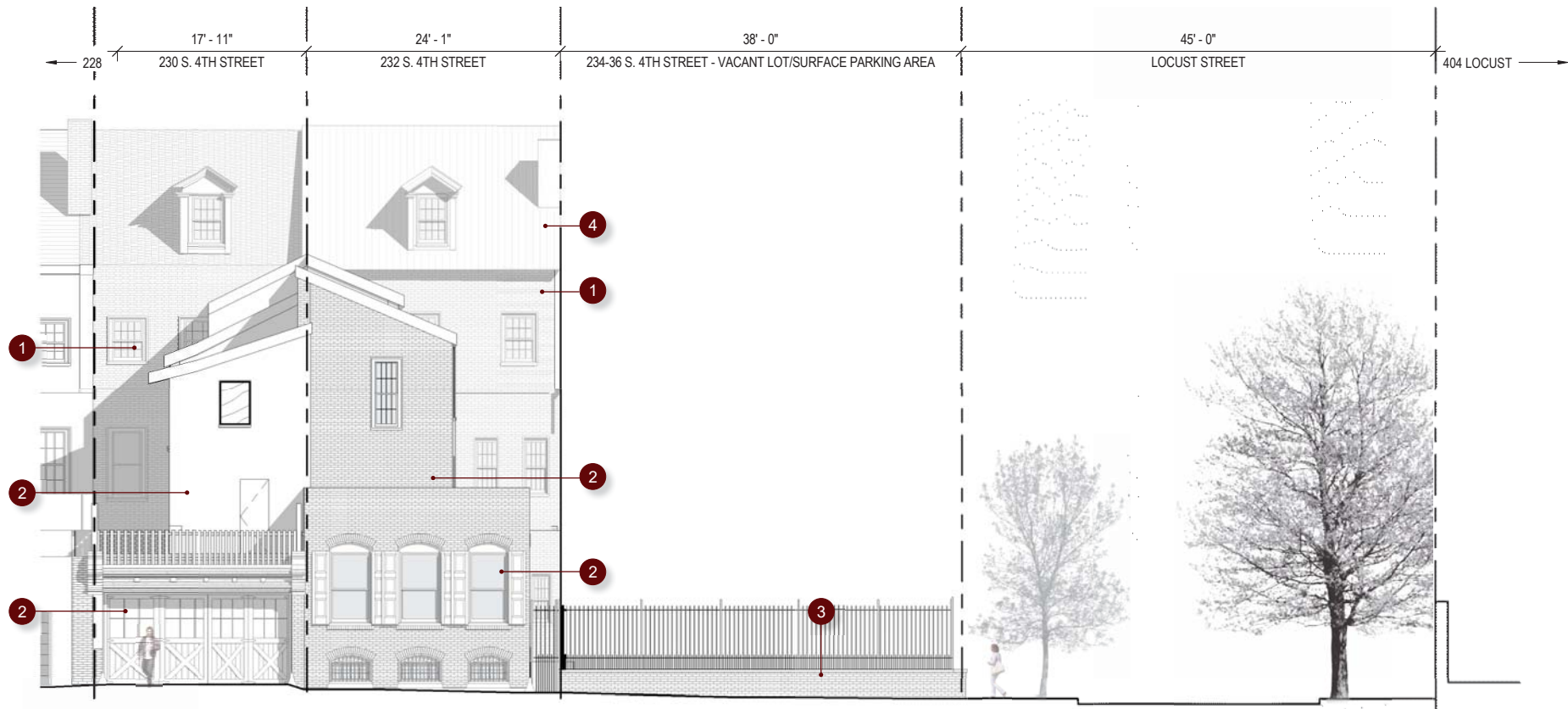
South Elevation

Scale: 1"=10'-0"



EXTERIOR ELEVATION

EXISTING ELEVATION - SOUTH LEITHGOW STREET



- 1. Existing rear facades of primary historic structure to be restored
- 2. Existing to be removed
- 3. Existing fence and masonry curb to be removed
- 4. Existing roof to be restored. New penetration for masonry chimney

West Elevation
Scale: 1"=10'-0"



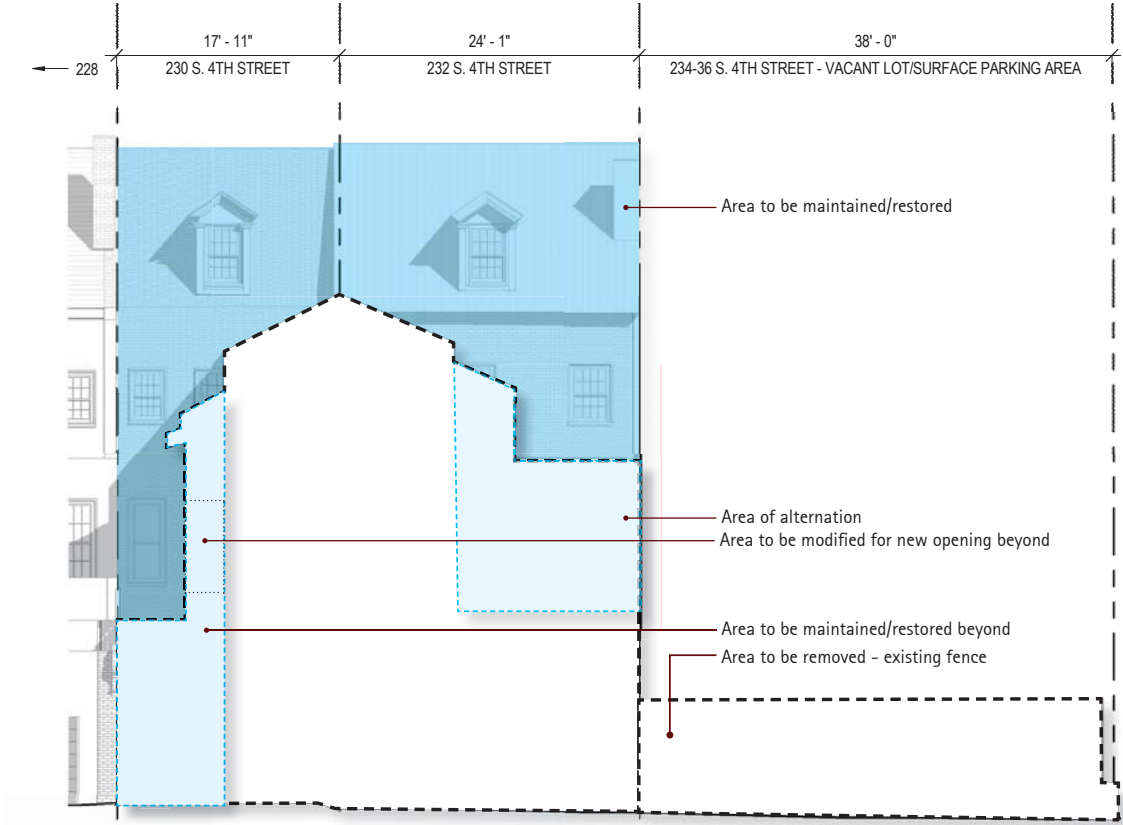
S. Leithgow Street looking at ground level existing buildings. Image Dated: 05.15.2019



S. Leithgow Street upper facade. Image Dated: 05.15.2019

EXTERIOR ELEVATION

RETAIN AND RENOVATE ELEVATION - SOUTH LEITHGOW STREET



Modified opening in existing facade
Portion of existing masonry facade to be maintained/restored



Portion of west elevation at 230 S. 4th street to be maintained and restored.
Photo Dated - 08.27.2019



Portion of west elevation at 232 S. 4th street to be maintained and restored.
Photo Dated - 08.27.2019

Based on level 0 -4, the proposed project maintains 54.9 % of the existing floor area

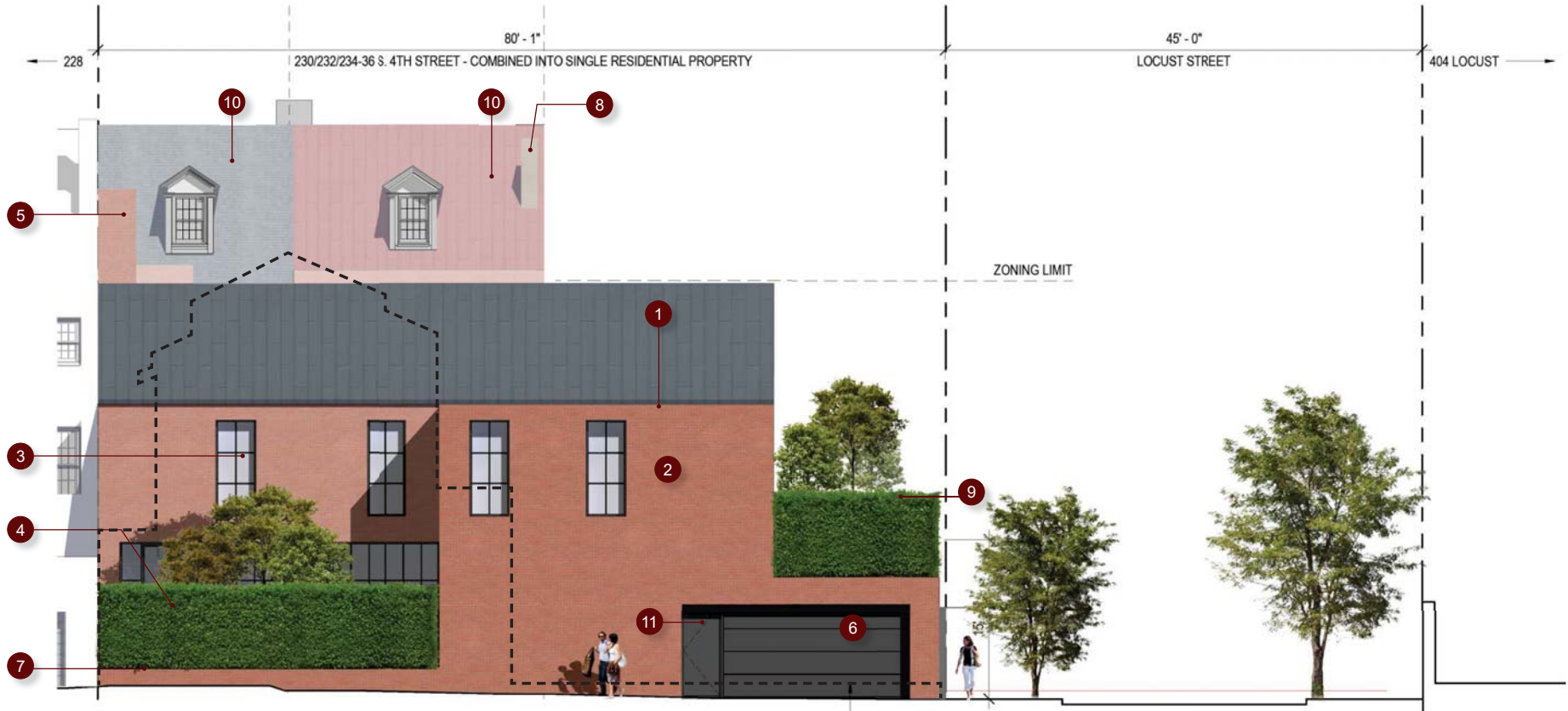
West Elevation

Scale: 1"=10'-0"



EXTERIOR ELEVATION

PROPOSED ELEVATION - SOUTH LEITHGOW STREET



West Elevation

Scale: 1"=10'-0"



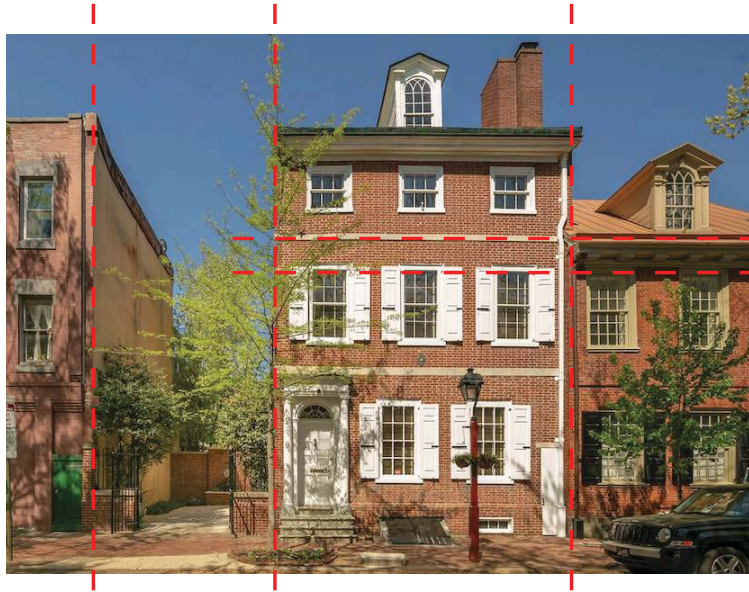
1. Addition
2. Exterior finish: Brick to match 232/230 S. 4th Street facade
3. Thermally broken steel windows
4. New wrought-iron fencing behind landscaped planting
5. New masonry chimney
6. Solid metal garage door
7. Masonry street wall at property line. Brick to match 232/230 S. 4th Street
8. Existing chimney to remain
9. New roof terrace at second level
10. Existing roof to be restored. New penetration for masonry chimney
11. Passage door

04

CHARACTER OF THE
NEIGHBORHOOD

CHARACTER OF THE NEIGHBORHOOD

HORIZONTAL AND VERTICAL ARTICULATION



CHARACTER OF THE NEIGHBORHOOD
HORIZONTAL AND VERTICAL ARTICULATION



CHARACTER OF THE NEIGHBORHOOD

PEDESTRIAN EXPERIENCE



CHARACTER OF THE NEIGHBORHOOD

PEDESTRIAN EXPERIENCE



CURRENT CONDITION AT SOUTH 4TH FROM LOCUST



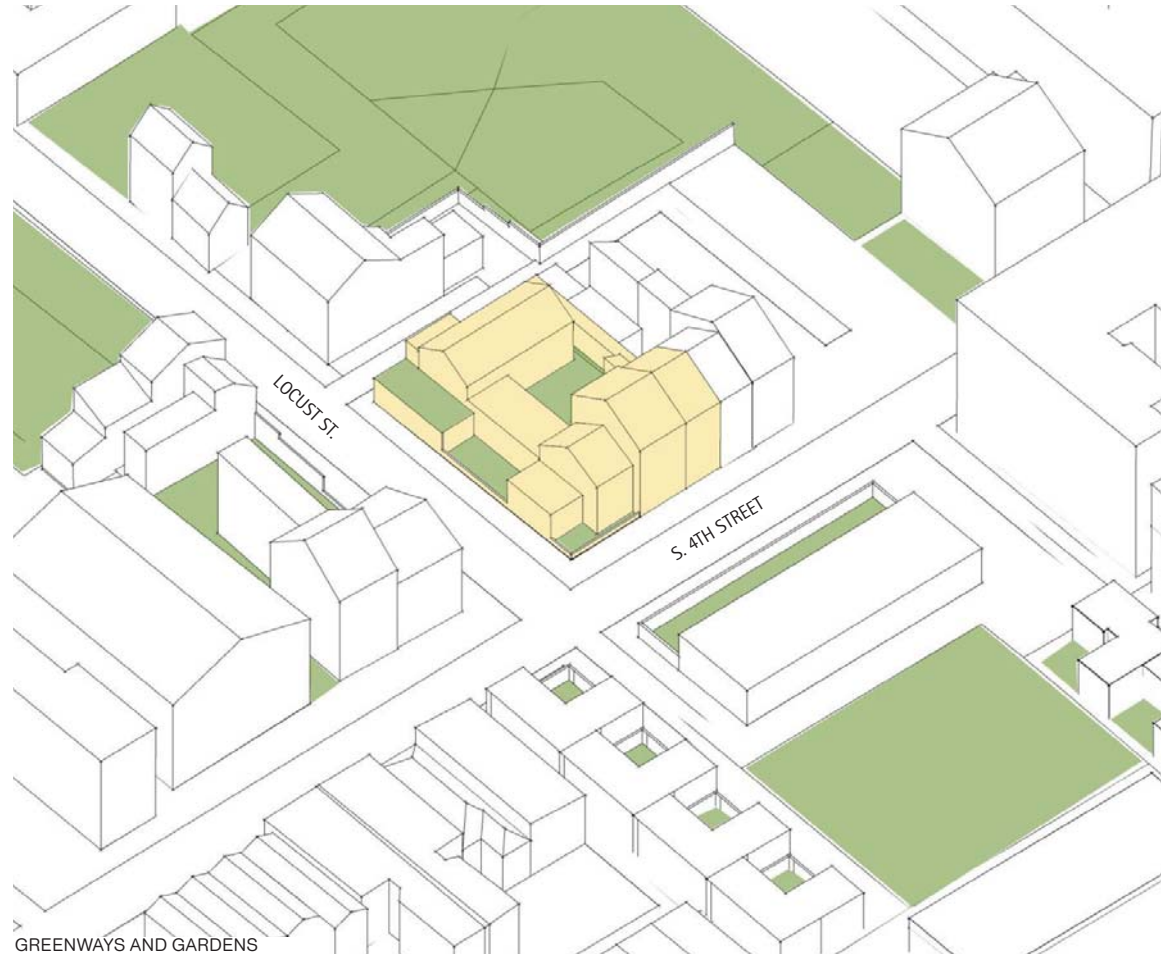
CHARACTER OF THE NEIGHBORHOOD

GREENWAYS AND GARDENS



CHARACTER OF THE NEIGHBORHOOD

GREENWAYS AND GARDENS



05

Itemized Zoning
Departures

ITEMIZED ZONING VARIANCES

1 Rear Yard Setback
Per Zoning Code Table 14-701-2 a Rear Yard setback of 9'-0" is required, as measured from the rear lot line on S. Leithgow street to the nearest structure.

The proposed design builds to the lot line along S. Leithgow St., maintaining existing 0'-0" rear setback at 230 and 232 S. 4th street, and matching 228 S. 4th street.

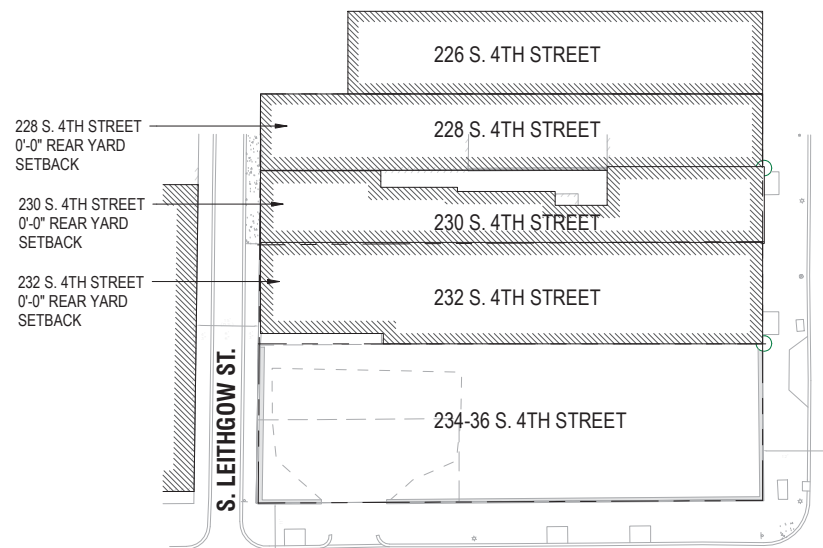
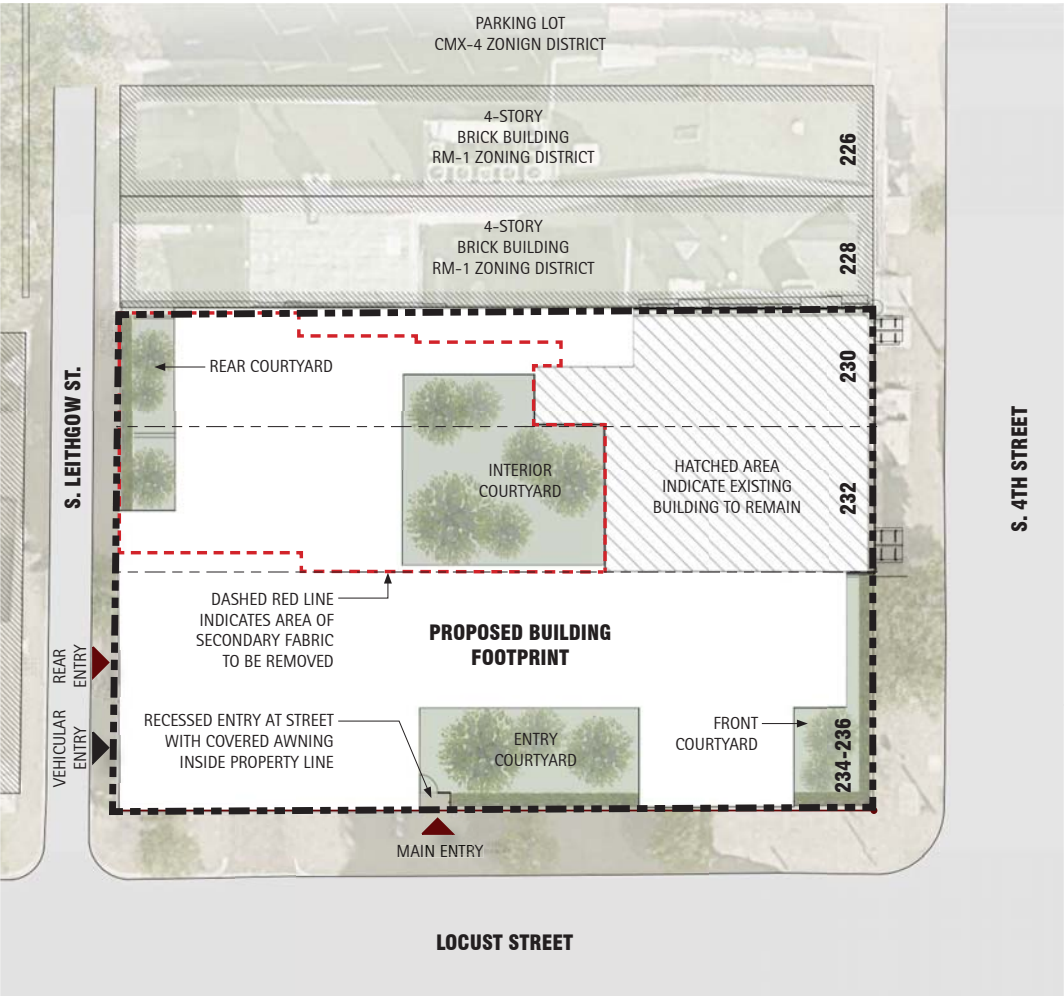


DIAGRAM - EXISTING REAR SETBACK
Scale: 1"=30'-0"



SITE PLAN
Scale: 1"=20'-0"
0' 5' 10' 20'

ITEMIZED ZONING VARIANCES

2

Vehicular Access at Public Right-of-Way

As S. Leithgow Street is considered a public right-of-way street and not a rear alley, garage access is not allowed as of right. Code limits or prohibits driveways on certain pedestrian streets in Center City.

The proposed design includes a garage accessed from S. Leithgow Street to provide separation between vehicular and pedestrian access along Locust Street. Existing curb cut along Locust Street to be removed and repaired to match existing brick sidewalk.

Design Precedents:

- 226 S. 4th Street - Currently provides exterior vehicular parking at rear yard.
- 228 S. 4th Street - Currently provides (2) car garage at rear yard with access off of S. Leithgow Street.
- 413 Locust Street - Currently provides exterior vehicular parking at side yard off of S. Leithgow Street.

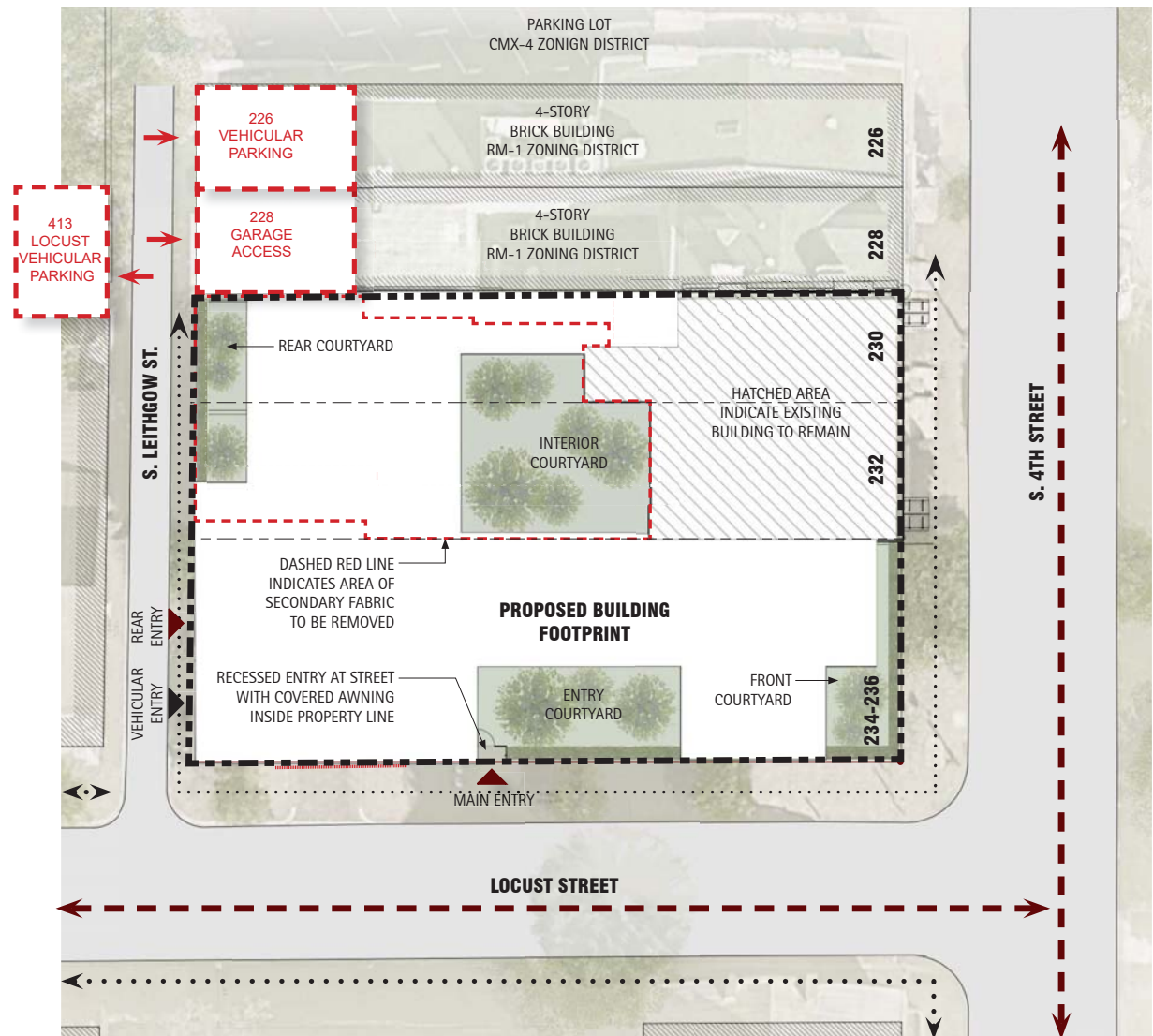
KEY

- Vehicular Circulation
- • • • • Pedestrian Circulation
- Existing curb Cut to be removed

SITE PLAN

Scale: 1"=20'-0"

0' 5' 10' 20'



Historic Property Assessment

230-236 S. 4th Street, Philadelphia, Pennsylvania



Prepared for:

234 S. 4th St. LP

Prepared by:

Heritage Consulting Group

15 W. Highland Avenue

Philadelphia, PA 19118

(215) 248-1260

www.heritage-consulting.com

October 2, 2019

EXECUTIVE SUMMARY

The project site consists of three adjacent properties: 230, 232 and 234-36 S. 4th Street. 230 and 232 S. 4th Street are each 3 ½ story, red brick federal style houses, constructed c. 1805 with later rear appendages. 234-36 S. 4th Street is unimproved and contains a garden and surface parking area set within a brick and metal fence, constructed c. 1959. The project proposes to rehabilitate the two existing houses, remove the rear appendages, and construct an addition on the corner lot and rear portion of the site.

The properties are listed in the Philadelphia Register of Historic Places as significant resources within the Society Hill Historic District (Listed 3/10/99).

The project was submitted to the Philadelphia Historical Commission (PHC) and was reviewed by the Architectural Committee at its August 27, 2019 meeting during which the application was recommended for denial due to the demolition of the rear ells on 230 and 232 S. 4th Street absent an argument for financial hardship or public interest and given what the committee determined was an incompatible design of the proposed addition.

In order to fully understand the historic and architectural aspects of the site, 234 S. 4th St. LP retained Heritage Consulting Group to research the history of the subject site and to analyze the proposed site development.

Located within the Society Hill Historic District, the subject properties have undergone significant alterations since their original construction c. 1805. The lot at 234-36 S. 4th Street was comprised of two 3 ½ story federal style houses throughout the 19th century, only to be replaced by a large 4 story brick commercial building c. 1900; this building was then demolished c. 1955 and replaced with the existing garden and parking area. The two buildings at 230 and 232 S. 4th Street were extended with utilitarian brick ells to the rear of the properties, which telescoped westward as additional space was needed.

Throughout the mid-20th century, prior to urban renewal, the surrounding blocks were densely populated with similar 3-4 story buildings with ells constructed to the rear as necessary. These ells were utilitarian in design and while ubiquitous, were not character-defining. As they faced the interior of the block, the ells were not designed as primary features and were not meant to be publically visible. Their siting, reduced size, and utilitarian design confirm that the ells and out-buildings are secondary features.

During the mid-century period, Society Hill underwent significant urban renewal efforts as the neighborhood had become “blighted.” Significant land was cleared during this period, with what would be considered historic buildings today, demolished as part of the renewal effort. The renewal period significantly altered the character of Society Hill, including the blocks surrounding the subject site. During this period, the former 4 story building at 234-36 S. 4th Street was demolished and replaced with a garden. Directly to the east of the subject site, the low-rise modern Bingham Court residential development, designed by I.M. Pei, was constructed in 1960. To the rear, west of the subject site, the center of the block was cleared for the construction of the National Park Service Rose Garden. Many other buildings on the

surrounding blocks were either fully or partially demolished as part of the Independence Park redevelopment plan.

As outlined in the Society Hill Historic District nomination and inventory, these mid-century changes and developments have been accepted and embraced as part of the history and character of the neighborhood and are considered to have historical significance. Both Bingham Court and the Rose Garden are considered to be contributing resources to the historic district, while standing in stark contrast to the dense federal-style aesthetic that traditionally defined Society Hill.

The proposed redevelopment plan for 230-236 S. 4th Street is in keeping with standard preservation practice and will preserve the character-defining federal-style historic buildings at 230-232 S. 4th Street, as well as embrace the historic district's mid-century character in the compatible design of the new addition. The primary (4th Street) elevation of the two existing buildings will be restored. Removal of the rear ells and the associated new construction on the rear of these lots is consistent with the adaptive reuse of registered buildings within the City and has been approved on similar, recent projects including 151 N. 4th Street. As these rear appendages were secondary in character and are not character-defining, their removal does not alter the historic character of the subject properties and should not be considered a demolition under Section 14-1005(6)(d). Additionally, the ells are not readily visible from primary vantage points and thus their removal will not negatively impact the feeling of the historic district.

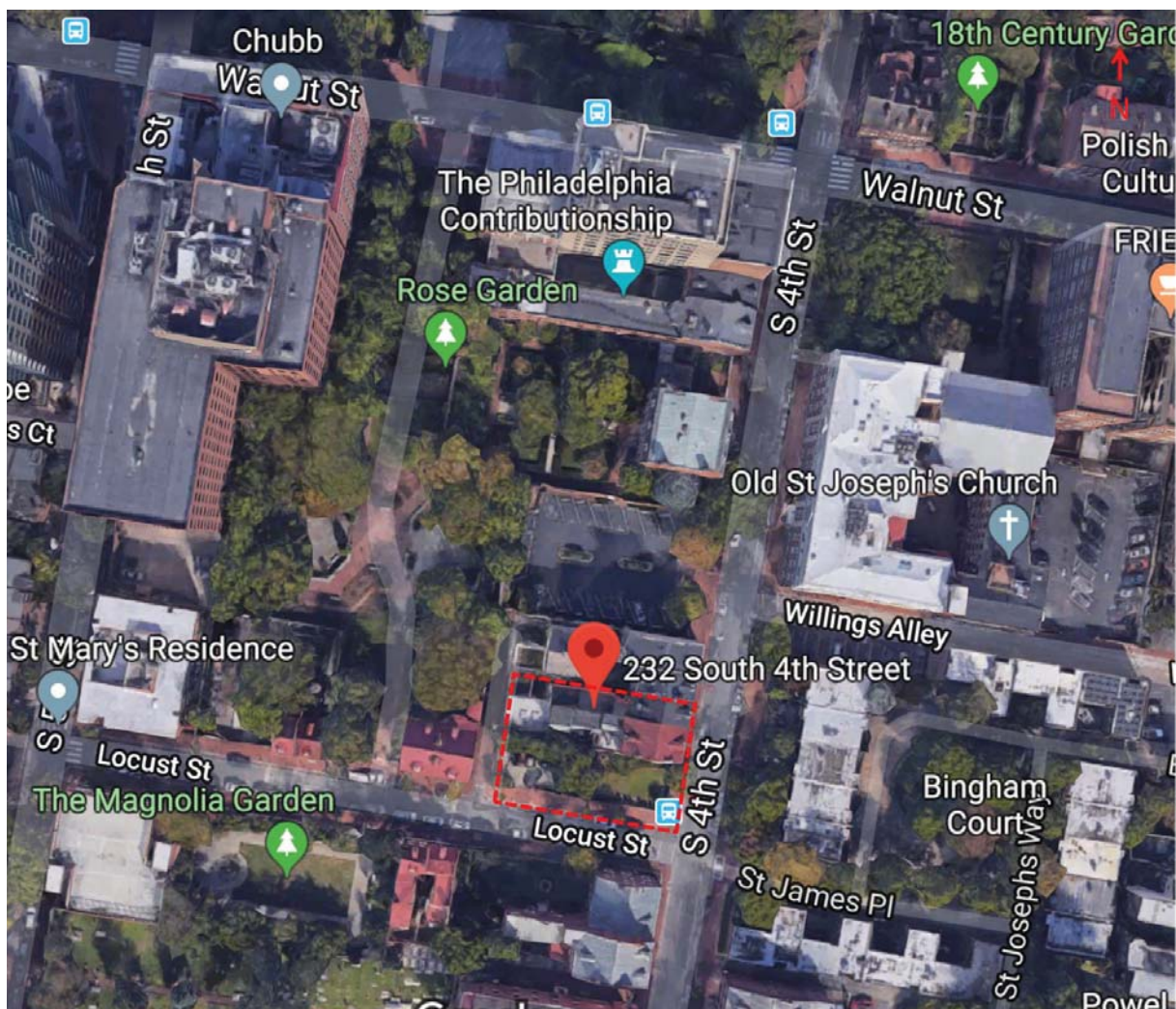
Finally, in response to the comments expressed by the Architectural Committee, the new construction has been redesigned to more closely match the scale and massing of the adjacent properties, and its design, utilizing an aesthetic in keeping with Bingham Court, and the mid-century period of significance is consistent with the character of the historic district as outlined in the nomination. The Standards require new construction to be compatible with the historic district as a whole and the proposed design is consistent with the surrounding context. New construction within the historic district, in particular where it is located adjacent to contributing mid-century resources, is consistent with the Society Hill Design Manual which indicates that "this notion of taking design cues from the surroundings is the goal for sensitive new construction in the district."

The revised project is consistent with the historic preservation goals outlined in the City's historic preservation ordinance as guided by the Secretary of the Interior's Standards for the Treatment of Historic Properties.

PROPERTY DESCRIPTION

Setting: The subject property is located within the heart of Society Hill on the southeast corner of the block bound by 4th Street to the east, 5th Street to the west, Walnut Street to the north and Locust Street to the south. The site is surrounded by both 19th century federal style buildings and mid-late 20th century buildings and landscapes. Located directly to the north of the site, and attached to 232 S. 4th Street are two 3 story federal style rowhouses with a modern surface parking lot beyond. The north portion of the block is occupied by 20th century mid-rise brick buildings. Located directly to the west of the subject property is a small section of S. Leithgow St. that only extends midblock and is effectively a rear alleyway. Across Leithgow St. to the west is a pair of 3 ½ story brick federal style houses constructed in the early 19th century and rehabilitated as part of the mid-century urban renewal project. The west portion of the block, fronting 5th Street is populated with low and mid-rise mid-century brick buildings. The center of the block is occupied by the mid-century NPS Rose Garden which is comprised of brick paving, walls and landscaping.

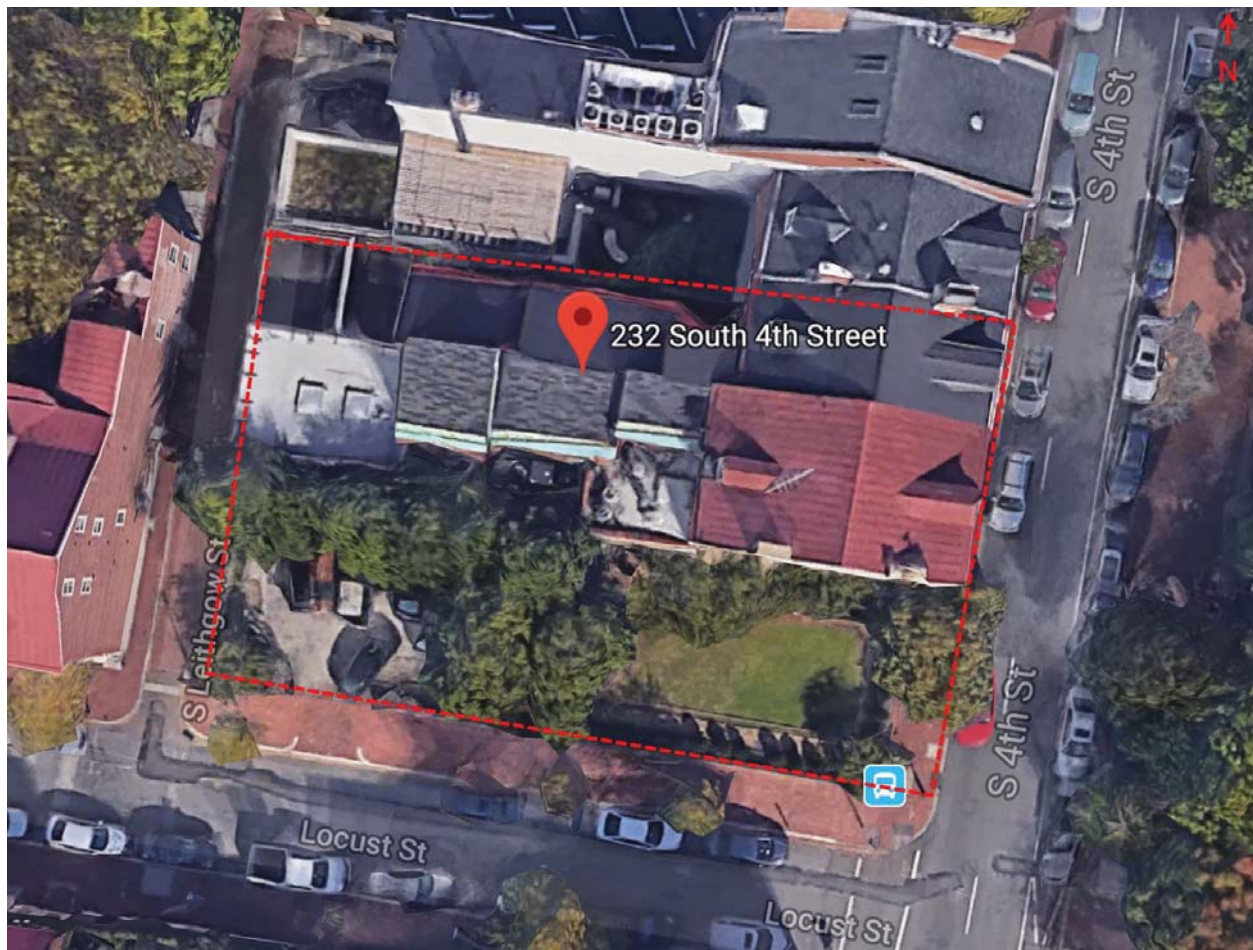
Located directly to the east of the project site, across 4th Street, is the mid-century Bingham Court residential development which while utilizing brick as its primary construction material, is defined by its interior facing facades and circulation with brick wall-enclosed private yards facing 4th Street. Located to the south of the project site, across Locust Street are a number of federal style buildings as well as the NPS Magnolia Garden, also constructed as part of the mid-century Independence Park development.



Project Setting

Site: The subject property is located at the southeast corner of the block bound by 4th Street to the east, 5th Street to the west, Walnut Street to the north and Locust Street to the south. The north portion of the site is occupied by 230 and 232 S. 4th Streets. Both buildings are constructed to the sidewalk along the east elevation (S. 4th Street) with nearly 100-percent lot coverage to the west. The telescoping rear ells are slightly recessed from the north and south property lines where there are narrow areaways adjacent to the ells. The west elevation of each building fronts S. Leithgow St., a rear alleyway and includes a brick garage at 230 and a one-story simply designed brick appendage at 232. The south elevation of 232 formerly was a party wall and was finished with stucco when the adjacent 4-story building at 234-36 was demolished c. 1955.

The south portion of the site is occupied by 234-36 S. 4th Street which consists of an unimproved garden and surface parking area enclosed by a brick and iron picket fence which is constructed to the sidewalk along the east, south and west property lines. The garden consists of a grass lawn surrounded by hedges and short trees.

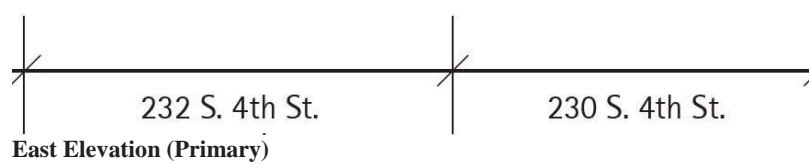


Project Site

Exterior:

230 S. 4th Street: 3 ½-story, 2-bay, Flemish bond brick, Federal house. Marble stoop and watertable; cellar bulkhead; single-leaf 8-panel door; fanlight; frontispiece with punch and gouge and reeding detail; storm sash; marble sills and lintels; paneled shutters on 1st floor, louvered on 2nd and 3rd; marble beltcourse at 2nd and 3rd floors; bracketed molded wood cornice with punch and gouge detailing; pedimented dormer with arched windows; utilitarian brick and stucco telescoping ells and one-story garage at rear.

232 S. 4th Street: 3 ½-story, 3-bay, Flemish bond brick, Federal building. Marble watertable; cellar bulkhead; square-head wood door surround with single-leaf 6-panel door and 3 light transom; 6/6 double-hung sash on all floors; security grills on 1st floor windows; marble sills and keystone jack arches; paneled shutters; stone beltcourse at 2nd and 3rd floors; bracketed molded wood cornice with punch and gouge detailing; pedimented dormer with arched sash; utilitarian brick telescoping ells and one-story appendage at rear.





South Elevation

230 S. 4th St.

232 S. 4th St.



South Elevation (232 S. 4th)



Utilitarian Rear Ells



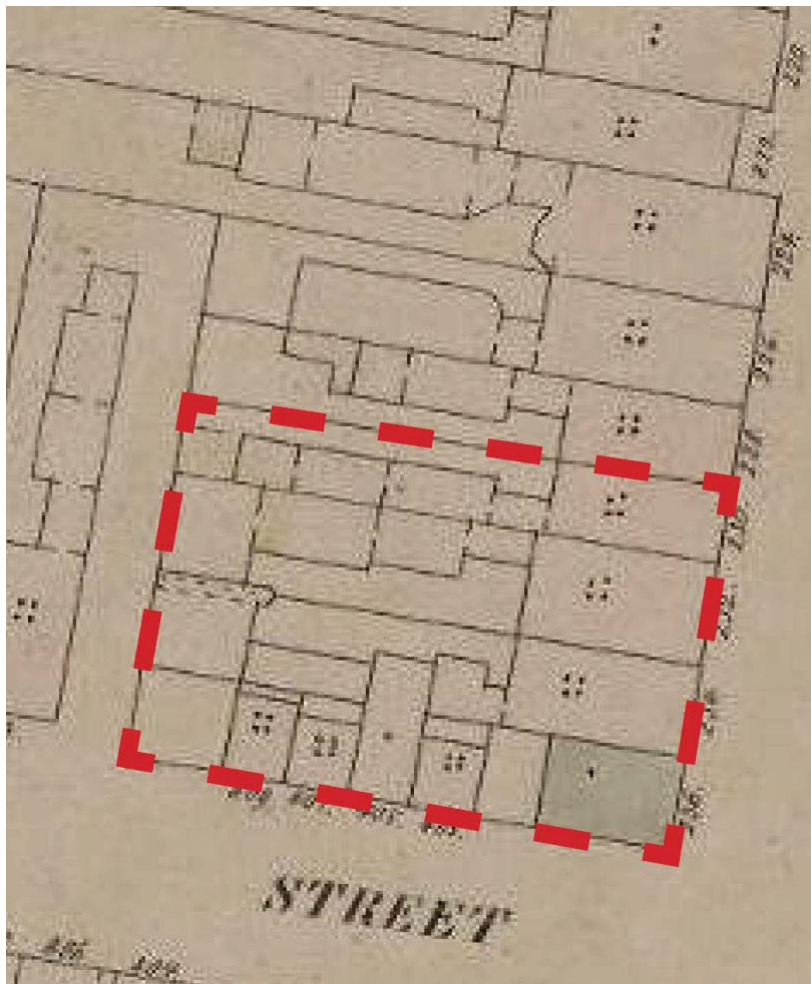
SITE HISTORY

The site, consisting of 230, 232 and 234-36 S. 4th Street, was developed during the early 19th century (c. 1805 in historic district inventory) and included four individual 3 ½ story residences. While 230, 232 and 234 had similar massing, heights and rooflines, 236 was a slightly shorter building, leaving the upper portion of the south party wall of 232 exposed.



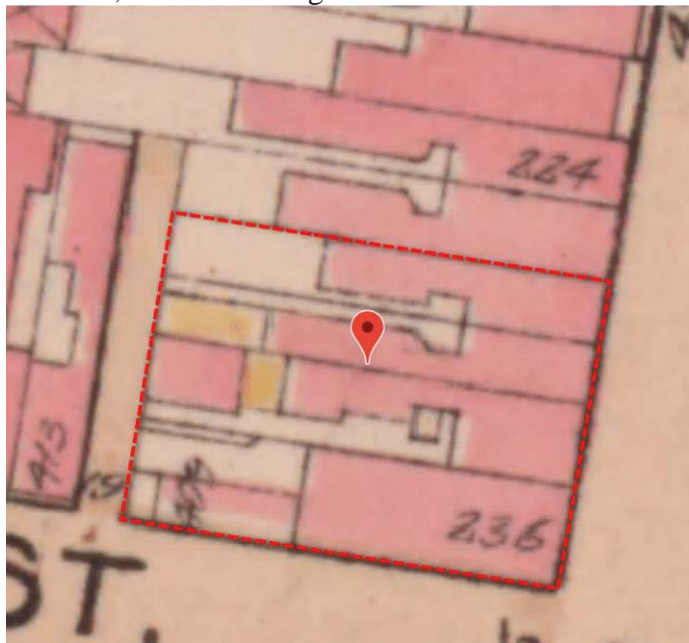
c. 1857: Looking north.

As was common in the city of Philadelphia including Society Hill, these properties had rear, undeveloped yards which were later built-upon to provide additional space for the residences. This is illustrated in the 1858 Hexamer & Locher atlas which illustrates telescoping rear ells projecting westward from the main buildings fronting S. 4th Street. Interestingly, this only occurred for 230-234, as 236 was located on a small lot at the corner, with smaller buildings located to the west fronting Locust Street. As illustrated on the atlas, while the rear ells would have been minimally visible from the secondary Leithgow Street alley (historically utilized to provide access for carriages), they would not have been visible from either S. 4th Street or Locust Streets due to the taller front blocks, as well as the houses fronting Locust Street.



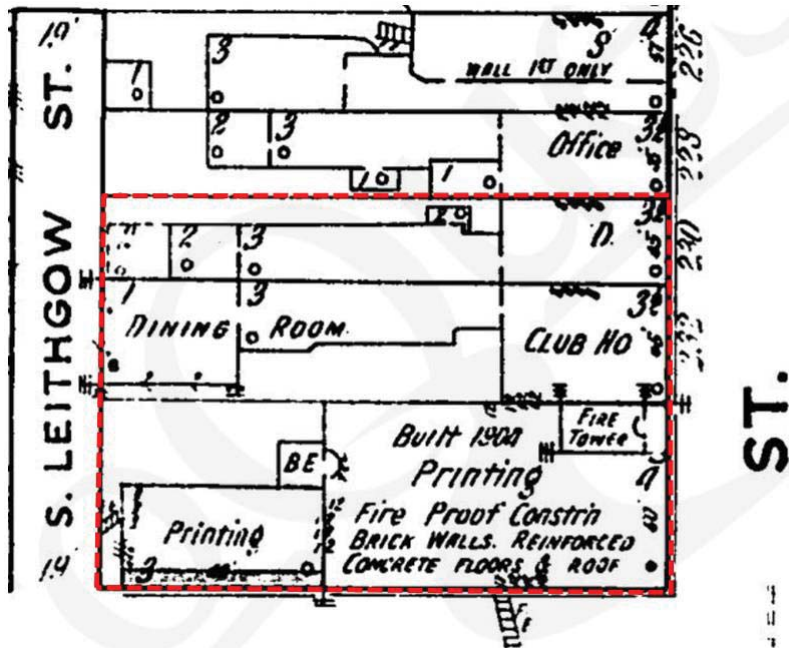
Hexamer & Locher Atlas, 1858

By 1895, 236 S. 4th Street had been increased in size and the Locust Street elevation was fully built out, still concealing the rear ells of 230 and 232 from any primary vantage point.



Bromley Atlas, 1895

Significant change to the site would occur in 1904 when the existing buildings at 234-36 S. 4th Street would be replaced with a 4 story brick and concrete commercial building utilized for printing.



Sanborn Map, 1916



C. 1910 Photo: Illustrating printing house at 234-36 S. 4th.

While the ground floors of 230 and 232 were altered, the site generally remained unchanged during the first half of the 20th century. During the mid-century period of urban renewal and its associated greening of Society Hill, the building at 234-36 was demolished and the open land converted for use as an enclosed garden and surface parking.

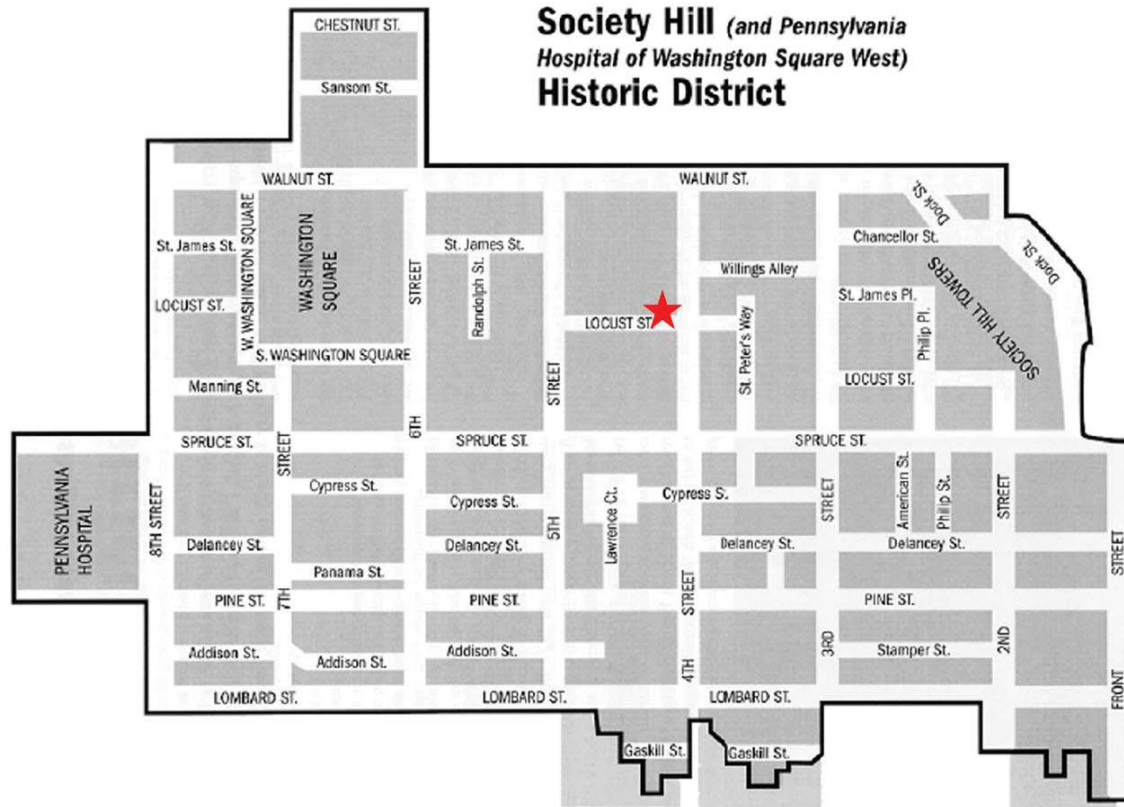


1959 Photo: Illustrating garden at 234-36 and altered first floor at 230.

Although the first floor of 230 was reconstructed in 1966 and the storefront was removed, the property has remained relatively unaltered from the mid-century period through to today.

SOCIETY HILL HISTORIC DISTRICT

The subject site, inclusive of 230, 232 and 234-36 S. 4th Street is located within the Society Hill Historic District which was listed in the Philadelphia Register of Historic Places in 1999. The historic district was determined to be significant as *“one of the nation’s largest concentrated collections of eighteen and early nineteenth century buildings. The area retains the harmony, scale, materials and rhythm of rowhouse construction and the original pattern of streets, altered only by the redevelopment plan of the 1950s-60s which, itself, has significance.”*



Map of the Society Hill Historic District: Location of subject property starred in red.

Although Society Hill is traditionally known for its Federal and Georgian Revival architecture, the historic district has a continuum of architectural styles from its revolutionary roots through to the mid-century modern low-rise and high-rise construction. As such, the period of significance for the historic district extends from 1700 through the mid-20th century as outlined in the nomination. Significance within the historic district is given to distinct periods of development and the associated architectural preferences including the Federal period's residential development; 1830s Greek Revival residences; mid-19th century revival residences, institutional and commercial structures; Queen Anne, Colonial Revival, Renaissance Revival and Art Deco commercial buildings as well as low-rise townhouses and high-rise apartments in the modern style.

Significant to the story of Society Hill is its redevelopment and preservation during the mid-20th century. During the first decades of the 20th century, Society Hill lost its perceived luster and became a deteriorated area with low quality housing, manufacturing and distribution facilities. Mid-century efforts at revitalizing the area were directed by the Washington Square East Urban Renewal Plan which was adopted in 1958. The plan embraced the creation of greenways, public parks and open areas as a means to accentuate the neighborhood's historic buildings. Development of Independence National Park, including the Rose and Magnolia Gardens, coincided with the urban renewal plan. The redevelopment plan embraced mid-century preservation theory which aimed to reconstruct the district back to a "period in time," the Federal period in the case of Society Hill. While Society Hill exhibited a diverse continuum of architectural styles, the Redevelopment Authority's embrace of the Federal period was at the

sacrifice of later 19th and early 20th century buildings, which on their own, significantly added to the fabric and context of Society Hill. The greening of Society Hill, while meant to celebrate the history of the neighborhood, removed much of the context and density of the historic fabric and embraced modern architectural design.

While no longer the preferred preservation approach, the redevelopment of Society Hill led to many notable modern developments which have since achieved significance in their own right, and become intertwined with the story and fabric of the neighborhood. As borne witness in the Society Hill Historic District nomination and inventory, the mid-century period has been embraced as a significant period and resources such as Society Hill Towers, Bingham Court and the NPS Rose Garden are considered to be contributing. The nomination does not turn its back on the modern period, but embraces it as part of the story and, in fact, indicates it has achieved “historical significance.”

ASSESSMENT OF PROPOSED PROJECT

The project proposed for 230-236 S. 4th Street includes retention and façade restoration of the primary buildings at 230 and 232 S. 4th Street, removal of the existing, utilitarian rear appendages and construction of a new addition to the rear as well as on the undeveloped lot at 236. As the project is located within the Society Hill Historic District, the proposed work must be reviewed by the Philadelphia Historical Commission. The project was submitted for in concept review and has been reviewed by PHC staff as well as the Architectural Committee at its August 27, 2019 meeting. The Architectural Committee voted to recommend denial of the application pursuant to Section 14-1005(6)(d) and Standards 9 and 10.

Subsequent to the Architectural Committee meeting, design revisions have been made which are responsive to the comments expressed by PHC staff and the Architectural Committee. It is our contention that that the revised project, as presented for in concept approval, is consistent with the Standards as well as the character of the Society Hill Historic District. The proposed project restores the 4th Street elevations of 230 and 232 S. 4th Street which are the primary historic features of these buildings. Demolition of the rear appendages will have minimal impact on the historic character of the historic district as these are utilitarian structures that were not historically visible from primary rights-of-way and served in ancillary functions to the main house block.

The new addition on the unimproved lot at 234-36 S. 4th Street, as well as to the rear of 230 and 232 S. 4th Street embraces the character of the historic district’s mid-century period of development which is called out in the district nomination as having achieved historical significance. Further, the design has been advanced since the Architectural Committee meeting and the addition is now more consistent with the massing and scale of the adjacent Federal style buildings as well as the more garden-like appearance of the adjacent mid-century developments. The new construction is consistent with the character of the building’s surroundings and takes its design cues from both the massing of the adjacent buildings and the mid-century design of Bingham Court, which is a contributing resource to the district. This is consistent with the Society Hill Design Manual which recommends that new construction take design cues from the surrounding neighborhood while embracing a compatible, modern design.

Analysis of recommended reasons for denial:

Section 14-1005(6)(d) – Project proposes to demolish character-defining features of two significant buildings without making an argument of financial hardship or public interest

Previous projects in the city of Philadelphia which proposed removal of rear ells and appendages have been recommended for approval by PHC staff and the Architectural Committee with formal approval ultimately granted by the Commission. Most recently, removal of a rear ell was approved for a similar three-story brick rowhouse located at 151 N. 4th Street (322 Race St.) within the Old City Historic District. In that similar situation, PHC staff recommendation indicated that *“The removal of the rear ell is not a demolition because it is not a razing or destruction in significant part. The rear ell does not characterize the property and is not part of the essential form and integrity of the historic property because it was not historically visible from the public right-of-way. The removal of the rear ell can be treated as an alteration and does not trigger the demolition prohibition in Section 14-1005(6)(d) of the historic preservation ordinance. The removal satisfies Standards 9 and 10.”* The Architectural Committee concurred and recommended in concept approval. Ultimately, the Commission approved removal of the rear ell finding that *“The rear ell of the historic house does not characterize the property and is not part of the essential form and integrity of the historic property”* and concluded that *“The removal of the rear and relocation of the historic house do not constitute demolition as defined in Section 14-203(88) of the historic preservation ordinance.”*

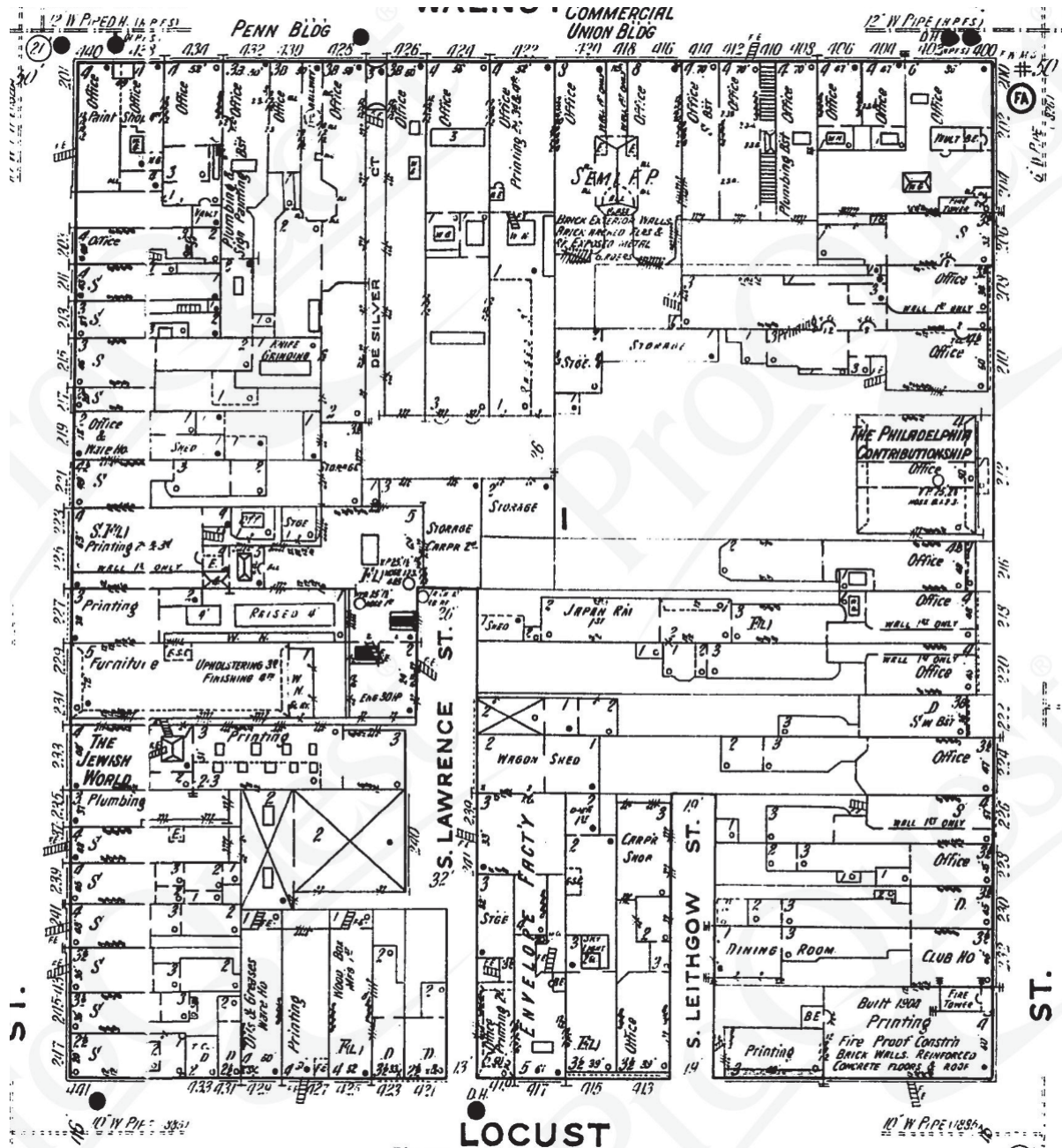
Standard 9 – The new addition will destroy historic materials, features and special relationships that characterize the property. The new work will not be compatible with the historic features, size, scale and proportion to protect the property and its environment.

The removal of the rear ells is consistent with Standard 9, outlined in the previous relevant example, as the rear ells do not characterize the property and their removal does not alter the historic character of the property. The rear ells, as evidenced by their scale, siting and utilitarian design were secondary features not intended for public view. The historic view of the rear ells, illustrated in the c. 1930 photo below, illustrates that this area was a mish-mash of appendages, installed in a slapdash manner and do not characterize the high-style design of the specific buildings or the Society Hill historic district.



c. 1930 Photo: Looking North on Leithgow Street at rear ells

Only recently did these rear ells become visible from the Rose Garden, which was historically the interior of a block occupied by similar, secondary structures not intended to be visible from the charter streets.



1916 Sanborn Map: Interior of block fully disturbed; only secondary views of rear ells throughout

Additionally, the size, scale and massing of the proposed addition has been revised in response to the Architectural Committee's comments. The main block of the building, fronting 4th Street, will have a gable roof line and will be slightly shorter than 232 S. 4th Street, which is consistent with the c. 1805 appearance of this row of houses.



c. 1857 photo: Note roofline similar to what is proposed.

Finally, the proposed addition has been designed in a similar character to the adjacent Bingham Court residential development. While concern was previously raised that this design is not proper for current development within the Society Hill Historic District, this rationale is based on the understanding that the district is significant only for its Federal style architecture. As specifically noted in the nomination, the redevelopment plan and associated architecture has historical significance and Bingham Court is considered to be a contributing resource. While this may not be the aesthetic preference for all interpretations of the Standards, these modern resources were deliberately included as contributing to the historic district, and therefore utilizing them as inspiration for new construction is consistent with the character of the historic district.



Bingham Court, contributing resource in Society Hill Historic District; Design inspiration for 230-236 S. 4th addition

Standard 10 – The new additions if removed in the future will impair the essential form and integrity of the property.

As outlined in the previous case study, “*The rear ell of the historic house does not characterize the property and is not part of the essential form and integrity of the historic property.*” As the ells do not characterize the essential form and integrity of the subject property, their removal does not violate Standard 10.

CONCLUSION

As demonstrated in this report, the in-concept scope of work at 230-236 S. 4th Street is consistent with the Standards and the character of the Society Hill Historic District. Removal of the rear appendages, which were not historically visible from any primary public right-of-way and are secondary in character, does not rise to the level of a demolition as the primary historic sections of the accompanying buildings will each be retained. Their removal will not alter the essential character of the historic resources and will not negatively impact the historic district.

The proposed addition is in keeping with the historic character of the historic district, specifically the mid-century modern aesthetic which was referenced in the historic district nomination as being significant in its own right. The addition has been redesigned in response to concerns raised by the Architectural Committee and is consistent with the scale, massing and character of the historic district. While details may still require final approval, the project, in concept, is consistent with the Standards.

APPENDIX: HERITAGE CONSULTING GROUP

Heritage is a national firm that assists the owners and developers of older and historic buildings in understanding the relative significance of their resources, navigating the regulatory redevelopment processes, and securing financial opportunities from federal, state and local incentives. Our firm is staffed by seasoned historic preservation professionals who meet the Professional Qualifications Standards under the category of *Historic Architecture* and *Architectural History* in the Secretary of the Interior's Standards and Guidelines, *Code of Federal Regulations*, 36 CFR Part 61.

The firm was founded in 1982 and since that time, Heritage has established a reputation for being a strident advocate for their clients, for having a facile understanding of the rules and regulations relating to older and historic buildings, and for effectively navigating the agencies responsible for implementing preservation programs.

Heritage has completed projects across the country, totaling billions in construction. The firm routinely provides due diligence analyses, detailing the history, integrity and historic parameters for properties. Working in the private sector, the firm has helped developers secure federal, state and local financial incentives. Heritage also prepares surveys, both reconnaissance and intensive, as well as building documentation in anticipation of demolition; these reports are typically done to the standards of the Historic American Building Survey. Finally, the firm provides guidance for public entities in understanding and navigating relevant historic preservation laws.

The firm's client base is national and broad. It includes private developers, not-for-profit organizations, colleges and universities, as well as federal, state and local governments.

Services provided by the firm include:

- Owner representation and agency negotiations
- Historic rehabilitation tax credit certification
- National Register nominations
- Due diligence and strategic planning
- Design feasibility
- Regulatory compliance
- Historic resource policy analysis and guidance
- Historic building documentation and HABS reports



SOCIETY HILL CIVIC ASSOCIATION

October 2, 2019

(Via email to Jon.Farnham@phila.gov)

Jonathan Farnham, Ph.D., Executive Director
Philadelphia Historical Commission
One Parkway, 13th floor
1515 Arch Street
Philadelphia, PA 19102

Re: 230-36 S. 4th Street

Dear Dr. Farnham:

Our Committee has reviewed the latest iteration of the proposed project and we are supportive of this newest design, dated October 2, 2019. We believe this application represents excellent architecture and that it is compatible with its surroundings in scale, materials and design. We believe it would be a first-rate addition to Society Hill.

The applicant has worked extensively with our Committee, including presenting to a community meeting attended by many near-neighbors, many of whom have expressed to us their support of the project.

We anticipate having someone at the Committee meeting on October 11th. Please circulate this letter to the Commissioners beforehand, if appropriate.

Thank you,

Paul Boni
Chair, Zoning & Historic
Preservation Committee

cc: Larry Spector, President, Society Hill Civic Association
Michael Forman, applicant



United States Department of the Interior

NATIONAL PARK SERVICE
INDEPENDENCE NATIONAL HISTORICAL PARK
143 S. 3rd Street
Philadelphia, PA 19106



IN REPLY REFER TO:

1.A.2

JUL 19 2019

Jonathan E. Farnham, Ph.D.,
Executive Director
Philadelphia Historical Commission
One Parkway, 13th Floor
1515 Arch St.
Philadelphia PA 19102

RE: Propoosal for 230-236 South Fourth Street

Dear Dr. Farnham:

As an abutter to the subject property, the National Park Service as Independence National Historical Park (Independence NHP), a federal historic district, wishes to comment on the subject application. The properties at 230-232 Leithgow Street and 413-415 Locust Street are directly west of 230-236 South Fourth Street. In addition, the National Park Service owns the following properties on Locust Street: 421, 423, 408 and 410 as well as the Magnolia Garden and the Rose Garden. All of our properties are within the viewshed of the proposed undertaking.

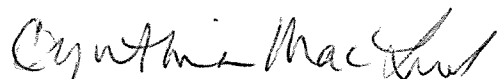
My staff and I have reviewed the Olson Kundig July 9, 2019 submittal to the Philadelphia Historical Commission requesting in concept approval of its design for a residence at 230-236 South Fourth Street. The project proposes to combine three parcels that include two historic rowhouses and a garden surrounded by a brick wall with iron fence, join the rowhouses and demolish their rear ells as well as a later garage and addition facing Leithgow Street and the Independence NHP Rose Garden. The project also proposes to construct a large addition facing Locust Street on the site of the present garden.

In the Secretary of Interior's Standards and Guidelines for Archeology and Historic Preservation Standard 9 for Rehabilitation addresses additions to historic properties. The standard states "new additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment." The architect for the project under consideration has taken care to relate the proposed addition to its surrounding environment through the use of materials, massing and size. However, the demolition of the historic ells and additions on the west sides of 230 and 232 South Fourth Street are concerning as the removal is not in keeping with Standard 9 and the historic ells have not been shown to be without significance.

If the ells retain their integrity and have historic significance, we ask that the architect incorporate the historic rear buildings of 230 and 232 South Fourth Street into the new program.

Thank you for the opportunity to present comments and for your consideration of them.

Sincerely,

A handwritten signature in cursive script, reading "Cynthia MacLeod". The signature is written in dark ink and is positioned above the printed name and title.

Cynthia MacLeod
Superintendent



CITY OF PHILADELPHIA
CITY COUNCIL

MARK F. SQUILLA
ROOM 332, CITY HALL
Philadelphia, PA 19107
(215) 686-3458 or 3459
Fax No. (215) 686-1931
Email: mark.squilla@phila.gov

1ST DISTRICT COUNCILMAN

COMMITTEES

Chair
Streets and Services

Member
Education
Ethics
Finance
Fiscal Stability
Global Opportunities
Licenses and Inspections
Public Property and Public Works
Rules
Technology and Information Services
Transportation and Public Utilities
Whole

October 4, 2019

Dr. Jonathan Farnham
Executive Director
Philadelphia Historical Commission
1515 Arch St. – 13th floor
Philadelphia, PA 19102

RE: 230-36 South 4th Street

Dear Dr. Farnham:

I am writing to support the proposed project at the above-mentioned address. I have been in contact with members of Society Hill Civic Association who have worked with the applicant and are also supportive of the application.

I would appreciate your consideration of this letter at your Committee meeting on October 11th, and feel free to share it with anyone in attendance.

Sincerely,



Mark Squilla



October 7, 2019

(Via email to Jon.Farnham@phila.gov)

Jonathan Farnham, Ph.D.

Executive Director

Philadelphia Historical Commission

One Parkway, 13th floor 1515 Arch Street

Philadelphia, PA 19102

Re: 230-36 S. 4th Street

Dear Dr. Farnham:

The undersigned write on behalf of the Bingham Court Homeowners Association's Council. We represent the residents of the 27 homes comprising Bingham Court, which was designed by I.M. Pei and is located directly across from the subject property on South 4th Street. Several of our residents participated in a community meeting about this project and we have also reviewed the most recent rendition. We are supportive of this newest design, dated October 2, 2019. We view the proposal as an effort to deliver high caliber architecture that is harmonious to the neighborhood and in keeping with the values that have guided historic preservation efforts and redevelopment of the Society Hill neighborhood over the last half century.

We support it for several reasons:

- The proposal would create a high-quality building designed by a nationally respected architect.
- We like the modernist character of the design. Indeed, we prefer the previous submission more than the current one, which while trying to accommodate various review comments from the Architectural Review Board, has been compromised with pitched roofs and red bricks.
- The design respects the open nature of this corner, to which the community has become accustomed. Additionally, this maintains the views of the Shippen-Wistar house as seen by pedestrians or tourists (of which there are many, especially on horse drawn carriages) travelling South down 4th Street.
- The design uses a fraction of the allowable volume envelope of the site, leaving the corner much more open than a by-right development would.



Jonathan Farnham, Ph.D.

October 7, 2019

Page 2

- This proposal honors the history of Society Hill as conceived by Ed Bacon, an idea that thrives in celebrating quality architecture by excellent architects and juxtaposing modern architecture with traditional architecture.
- We are concerned that the comments of the Architectural Review Board unduly constrain a first-rate commitment to design and build quality; and we fear it could be an invitation to compromise on such quality, or worse, abandonment of the project.

For Bingham Court, the rationale for support is compelling - high quality architecture that is consistent with the best aspirations of Society Hill.

We anticipate that at least one of us (Dan Kelley) will be in attendance at the Committee meeting on October 11th. Mr. Kelley is an architect and principal of MGA Partners, located in Old City. Mr. Kelley's practice has chiefly involved certified historic buildings and historic urban or campus contexts. Mr. Kelley offers a unique perspective, as a professional architect and as a longtime resident of Society Hill.

We request that this submission be included as part of the record and made available to the Commissioners for their consideration.

Respectfully,

/s/

Daniel Kelley, President
Jonathan Auerbach, Secretary
Frank Chudnow, Treasurer

Bingham Court Council

cc: Michael Forman