



NORTH PHILADELPHIA CHOICE PHASE V

PHILADELPHIA, PA

September 3rd 2019

CIVIC DESIGN REVIEW

Prepared for:
Jonathan Rose Companies

Prepared by:

WRT

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



INSTRUCTIONS

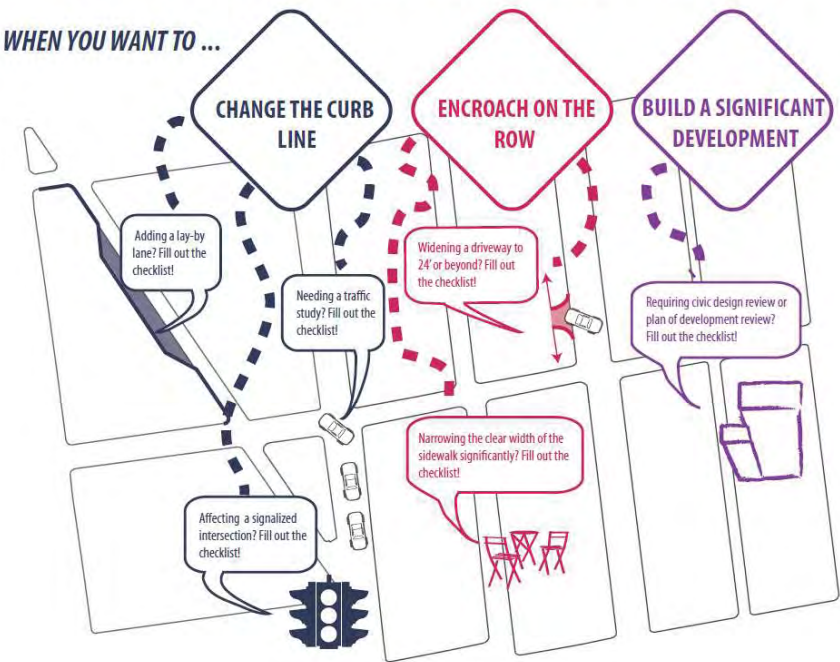
This Checklist is an implementation tool of the *Philadelphia Complete Streets Handbook* (the “Handbook”) and enables City engineers and planners to review projects for their compliance with the Handbook’s policies. The handbook provides design guidance and does not supersede or replace language, standards or policies established in the City Code, City Plan, or Manual on Uniform Traffic Control Devices (MUTCD).

The Philadelphia City Planning Commission receives this Checklist as a function of its Civic Design Review (CDR) process. This checklist is used to document how project applicants considered and accommodated the needs of all users of city streets and sidewalks during the planning and/or design of projects affecting public rights-of-way. Departmental reviewers will use this checklist to confirm that submitted designs incorporate complete streets considerations (see §11-901 of The Philadelphia Code). Applicants for projects that require Civic Design Review shall complete this checklist and attach it to plans submitted to the Philadelphia City Planning Commission for review, along with an electronic version.

The Handbook and the checklist can be accessed at <http://www.phila.gov/CityPlanning/projectreviews/Pages/CivicDesignReview.aspx>

WHEN DO I NEED TO FILL OUT THE COMPLETE STREETS CHECKLIST?

WHEN YOU WANT TO ...



PRELIMINARY PCPC REVIEW AND COMMENT:

DATE

FINAL STREETS DEPT REVIEW AND COMMENT:

DATE

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INSTRUCTIONS (continued)

- APPLICANTS SHOULD MAKE SURE TO COMPLY WITH THE FOLLOWING REQUIREMENTS:
- ☐ This checklist is designed to be filled out electronically in Microsoft Word format. Please submit the Word version of the checklist. Text fields will expand automatically as you type.
 - ☐ All plans submitted for review must clearly dimension the widths of the Furnishing, Walking, and Building Zones (as defined in Section 1 of the Handbook). “High Priority” Complete Streets treatments (identified in Table 1 and subsequent sections of the Handbook) should be identified and dimensioned on plans.
 - ☐ All plans submitted for review must clearly identify and site all street furniture, including but not limited to bus shelters, street signs and hydrants.
 - ☐ Any project that calls for the development and installation of medians, bio-swales and other such features in the right-of-way may require a maintenance agreement with the Streets Department.
 - ☐ ADA curb-ramp designs must be submitted to Streets Department for review
 - ☐ Any project that significantly changes the curb line may require a City Plan Action. The City Plan Action Application is available at <http://www.philadelphiastreet.com/survey-and-design-bureau/city-plans-unit> . An application to the Streets Department for a City Plan Action is required when a project plan proposes the:
 - Placing of a new street;
 - Removal of an existing street;
 - Changes to roadway grades, curb lines, or widths; or
 - Placing or striking a city utility right-of-way.

Complete Streets Review Submission Requirement*:

- EXISTING CONDITIONS SITE PLAN, should be at an identified standard engineering scale
 - FULLY DIMENSIONED
 - CURB CUTS/DRIVEWAYS/LAYBY LANES
 - TREE PITS/LANDSCAPING
 - BICYCLE RACKS/STATIONS/STORAGE AREAS
 - TRANSIT SHELTERS/STAIRWAYS
- PROPOSED CONDITIONS SITE PLAN, should be at an identified standard engineering scale
 - FULLY DIMENSIONED, INCLUDING DELINEATION OF WALKING, FURNISHING, AND BUILDING ZONES AND PINCH POINTS
 - PROPOSED CURB CUTS/DRIVEWAYS/LAYBY LANES
 - PROPOSED TREE PITS/LANDSCAPING
 - BICYCLE RACKS/STATIONS/STORAGE AREAS
 - TRANSIT SHELTERS/STAIRWAYS

*APPLICANTS PLEASE NOTE: ONLY FULL-SIZE, READABLE SITE PLANS WILL BE ACCEPTED. ADDITIONAL PLANS MAY BE REQUIRED AND WILL BE REQUESTED IF NECESSARY

COMPLETE STREETS HANDBOOK CHECKLIST

Philadelphia City Planning Commission



GENERAL PROJECT INFORMATION

1. PROJECT NAME

North Central Philadelphia Choice Phase V
2. DATE

8/5/2019
3. APPLICANT NAME

Christopher Edwards
4. APPLICANT CONTACT INFORMATION

551 5th Avenue, 23rd Floor, New York, NY, 10176, (917) 542-3649
5. PROJECT AREA: list precise street limits and scope

3.05 acre
6. OWNER NAME

Philadelphia Housing Authority c/o Rose Norris Homes, LLC
7. OWNER CONTACT INFORMATION

Christopher Edwards

551 5th Avenue, 23rd Floor, New York, NY 10176
8. ENGINEER / ARCHITECT NAME

Meliora Design
9. ENGINEER / ARCHITECT CONTACT INFORMATION

259 Morgan Street, Phoenixville, PA 19460, (610) 933-0123

altje@melioradesign.com
10. STREETS: List the streets associated with the project. Complete Streets Types can be found at www.phila.gov/map under the “Complete Street Types” field. Complete Streets Types are also identified in Section 3 of the Handbook.

Also available here: <http://metadata.phila.gov/#home/datasetdetails/5543867320583086178c4f34/>

| STREET | FROM | TO | COMPLETE STREET TYPE |
|---------------------|------------|---------------------|----------------------|
| 10 th St | Berks St | Norris St | City Neighborhood |
| Berks St | Warnock St | 10 th St | City Neighborhood |
| Warnock St | Berks St | Norris St | Local |
| Norris St | Warnock St | 10 th St | City Neighborhood |

11. Does the Existing Conditions site survey clearly identify the following existing conditions with dimensions?

a. Parking and loading regulations in curb lanes adjacent to the site

YES ☒ NO ☐

b. Street Furniture such as bus shelters, honor boxes, etc.

YES ☒ NO ☐ N/A ☐

c. Street Direction

YES ☒ NO ☐

d. Curb Cuts

YES ☐ NO ☐ N/A ☒

e. Utilities, including tree grates, vault covers, manholes, junction boxes, signs, lights, poles, etc.

YES ☒ NO ☐ N/A ☐

f. Building Extensions into the sidewalk, such as stairs and stoops

YES ☐ NO ☐ N/A ☒

APPLICANT: General Project Information

Additional Explanation / Comments: _____

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DEPARTMENTAL REVIEW: General Project Information

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PEDESTRIAN COMPONENT (Handbook Section 4.3)

12. SIDEWALK: list Sidewalk widths for each street frontage. Required Sidewalk widths are listed in Section 4.3 of the Handbook.

| STREET FRONTAGE | TYPICAL SIDEWALK WIDTH (BUILDING LINE TO CURB) | CITY PLAN SIDEWALK WIDTH |
|---------------------|---|-----------------------------|
| | Required / Existing / Proposed | Existing / Proposed |
| 10 th St | 12' / 12' / 10'-6" (min) | 12' / 12' |
| Berks St | 12' / 12' / 17'-1" | 12' / 12' |
| Warnock St | 10' / 8' / 10'-10" | 8' / 8' |
| Norris St | 12' / 12' / 12' | 12' / 12' |

13. WALKING ZONE: list Walking Zone widths for each street frontage. The Walking Zone is defined in Section 4.3 of the Handbook, including required widths.

| STREET FRONTAGE | WALKING ZONE |
|---------------------|--------------------------------|
| | Required / Existing / Proposed |
| 10 th St | 5' / 8' / 6' |
| Berks St | 5' / 7' / 12'-7" |
| Warnock St | 5' / 5' / 6'-4" |
| Norris St | 5' / 10' / 7'-6" |

14. VEHICULAR INTRUSIONS: list Vehicular Intrusions into the sidewalk. Examples include but are not limited to; driveways, lay-by lanes, etc. Driveways and lay-by lanes are addressed in sections 4.8.1 and 4.6.3, respectively, of the Handbook.

EXISTING VEHICULAR INTRUSIONS

| INTRUSION TYPE | INTRUSION WIDTH | PLACEMENT |
|----------------|-----------------|-----------|
| N/A | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |

PROPOSED VEHICULAR INTRUSIONS

| INTRUSION TYPE | INTRUSION WIDTH | PLACEMENT |
|----------------|-----------------|--|
| Driveway | 24' | On the western side of 10 th St, approximately 200' south of Norris St. |
| _____ | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |

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PEDESTRIAN COMPONENT (continued)

15. When considering the overall design, does it create or enhance a pedestrian environment that provides safe and comfortable access for all pedestrians at all times of the day? YES ☒ NO ☐

DEPARTMENTAL
APPROVAL

YES ☐ NO ☐

APPLICANT: Pedestrian Component

Additional Explanation / Comments: The streetscape is designed to enhance pedestrian activation of the streets surrounding the project site. North 10th Street is activated with multiple entrances to the site, street trees, landscaping, new sidewalks, seating/gathering areas, and ground-level retail located near the corner of Berks and 10th Street. Berks Street is designed to have new sidewalks, vegetation, street trees, and a main entrance to Building A on the corner of Berks and Warnock. Warnock Street also contains improvements of new sidewalks, vegetation, street trees, and entrances to Building A, as well as all units of Building B. Norris Street will have new sidewalk, street trees, entrances to all units of Building C, and visible green infrastructure on the corner of 10th and Norris.

DEPARTMENTAL REVIEW: Pedestrian Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

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BUILDING & FURNISHING COMPONENT (Handbook Section 4.4)

16. BUILDING ZONE: list the MAXIMUM, **existing and proposed** Building Zone width on each street frontage. The Building Zone is defined as the area of the sidewalk immediately adjacent to the building face, wall, or fence marking the property line, or a lawn in lower density residential neighborhoods. The Building Zone is further defined in section 4.4.1 of the Handbook.

| STREET FRONTAGE | MAXIMUM BUILDING ZONE WIDTH Existing / Proposed |
|---------------------|--|
| 10 th St | 0 / 0 |
| Berks St | 0 / 0 |
| Warnock St | 0 / 0 |
| Norris St | 0 / 0 |

17. FURNISHING ZONE: list the MINIMUM, **recommended, existing, and proposed** Furnishing Zone widths on each street frontage. The Furnishing Zone is further defined in section 4.4.2 of the Handbook.

| STREET FRONTAGE | MINIMUM FURNISHING ZONE WIDTH Recommended / Existing / Proposed |
|---------------------|--|
| 10 th St | 4' / 4' / 4.5' |
| Berks St | 4' / 5' / 4.5' |
| Warnock St | 3.5' / 3' / 4.5' |
| Norris St | 4' / 2' / 4.5' |

18. Identify proposed “high priority” building and furnishing zone design treatments that are incorporated into the design plan, where width permits (see Handbook Table 1). Are the following treatments identified and dimensioned on the plan?

Bicycle Parking

Lighting

Benches

Street Trees

Street Furniture

YES ☐

YES ☒

YES ☐

YES ☒

YES ☐

NO ☐

NO ☐

NO ☐

NO ☐

NO ☐

N/A ☒

N/A ☐

N/A ☒

N/A ☐

N/A ☒

19. Does the design avoid tripping hazards?

YES ☒ NO ☐ N/A ☐

20. Does the design avoid pinch points? Pinch points are locations where the Walking Zone width is less than the required width identified in item 13, or requires an exception

YES ☒ NO ☐ N/A ☐

DEPARTMENTAL APPROVAL

YES ☐

YES ☐

YES ☐

YES ☐

YES ☐

NO ☐

NO ☐

NO ☐

NO ☐

NO ☐

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BUILDING & FURNISHING COMPONENT (continued)

21. Do street trees and/or plants comply with street installation requirements (see sections 4.4.7 & 4.4.8)

YES ☒

NO ☐

N/A ☐

YES ☐

NO ☐

22. Does the design maintain adequate visibility for all roadway users at intersections?

YES ☒

NO ☐

N/A ☐

YES ☐

NO ☐

APPLICANT: Building & Furnishing Component

Additional Explanation / Comments:

DEPARTMENTAL REVIEW: Building & Furnishing Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

WRT

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BICYCLE COMPONENT (Handbook Section 4.5)

23. List elements of the project that incorporate recommendations of the Pedestrian and Bicycle Plan, located online at <http://phila2035.org/wp-content/uploads/2012/06/bikePedfinal2.pdf>
Indoor bike storage is proposed. This meets bike parking needs that are raised in the report and addresses bike theft concerns as outlined in Table I3 Health and Safety Policy Recommendations.
24. List the existing and proposed number of bicycle parking spaces, on- and off-street. Bicycle parking requirements are provided in The Philadelphia Code, Section 14-804.

| BUILDING / ADDRESS | REQUIRED SPACES | ON-STREET Existing / Proposed | ON SIDEWALK Existing / Proposed | OFF-STREET Existing / Proposed |
|---|-----------------|----------------------------------|------------------------------------|-----------------------------------|
| 1900-54 N. 10 th Street (Building A) | 44 | 0 / 0 | 0 / 0 | 0 / 52 |
| _____ | _____ | ____/____ | ____/____ | ____/____ |
| _____ | _____ | ____/____ | ____/____ | ____/____ |
| _____ | _____ | ____/____ | ____/____ | ____/____ |

25. Identify proposed “high priority” bicycle design treatments (see Handbook Table 1) that are incorporated into the design plan, where width permits. Are the following “High Priority” elements identified and dimensioned on the plan?
- | | | | | |
|------------------------------|------------------------------|-----------------------------|---|---|
| Conventional Bike Lane | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | DEPARTMENTAL APPROVAL YES <input type="checkbox"/> NO <input type="checkbox"/> |
| Buffered Bike Lane | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| Bicycle-Friendly Street | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| Indego Bicycle Share Station | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
26. Does the design provide bicycle connections to local bicycle, trail, and transit networks? YES ☐ NO ☒ N/A ☐ DEPARTMENTAL APPROVAL
YES ☐ NO ☐
27. Does the design provide convenient bicycle connections to residences, work places, and other destinations? YES ☐ NO ☒ N/A ☐ YES ☐ NO ☐

APPLICANT: Bicycle Component

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: Bicycle Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

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CURBSIDE MANAGEMENT COMPONENT (Handbook Section 4.6)

- | | | | | |
|---|---|-----------------------------|------------------------------|---|
| 28. Does the design limit conflict among transportation modes along the curb? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | | DEPARTMENTAL APPROVAL YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 29. Does the design connect transit stops to the surrounding pedestrian network and destinations? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 30. Does the design provide a buffer between the roadway and pedestrian traffic? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 31. How does the proposed plan affect the accessibility, visibility, connectivity, and/or attractiveness of public transit? | | | | YES <input type="checkbox"/> NO <input type="checkbox"/> |

APPLICANT: Curbside Management Component

Additional Explanation / Comments: The plan incorporates new ADA ramps at all corners of the site and maintains open sidewalks for connectivity to the surrounding community. The site is located is directly adjacent to the Septa Temple University Train Station.

DEPARTMENTAL REVIEW: Curbside Management Component

Reviewer Comments:

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VEHICLE / CARTWAY COMPONENT (Handbook Section 4.7)

32. If lane changes are proposed, , identify existing and proposed lane widths and the design speed for each street frontage;

| STREET | FROM | TO | LANE WIDTHS Existing / Proposed | DESIGN SPEED |
|--------|------|----|------------------------------------|-----------------|
| N/A | | | / | |
| | | | / | |
| | | | / | |
| | | | / | |

33. What is the maximum AASHTO design vehicle being accommodated by the design? H-20

34. Will the project affect a historically certified street? An [inventory of historic streets](#)⁽¹⁾ is maintained by the Philadelphia Historical Commission.

35. Will the public right-of-way be used for loading and unloading activities? YES NO

36. Does the design maintain emergency vehicle access? YES NO

37. Where new streets are being developed, does the design connect and extend the street grid? YES NO N/A

38. Does the design support multiple alternative routes to and from destinations as well as within the site? YES NO N/A

39. Overall, does the design balance vehicle mobility with the mobility and access of all other roadway users? YES NO

DEPARTMENTAL
APPROVAL

YES NO

YES NO

YES NO

YES NO

YES NO

YES NO

YES NO

APPLICANT: Vehicle / Cartway Component

Additional Explanation / Comments:

DEPARTMENTAL REVIEW: Vehicle / Cartway Component

Reviewer Comments:

(1) http://www.philadelphiastreet.com/images/uploads/documents/Historical_Street_Paving.pdf

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URBAN DESIGN COMPONENT (Handbook Section 4.8)

| | | | | |
|--|---|-----------------------------|------------------------------|--|
| 40. Does the design incorporate windows, storefronts, and other active uses facing the street? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | DEPARTMENTAL APPROVAL YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 41. Does the design provide driveway access that safely manages pedestrian / bicycle conflicts with vehicles (see Section 4.8.1)? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 42. Does the design provide direct, safe, and accessible connections between transit stops/stations and building access points and destinations within the site? | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> | N/A <input type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |

APPLICANT: Urban Design Component

Additional Explanation / Comments:

DEPARTMENTAL REVIEW: Urban Design Component

Reviewer Comments:

COMPLETE STREETS HANDBOOK CHECKLIST

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INTERSECTIONS & CROSSINGS COMPONENT (Handbook Section 4.9)

43. If signal cycle changes are proposed, please identify Existing and Proposed Signal Cycle lengths; if not, go to question No. 48.

| SIGNAL LOCATION | EXISTING CYCLE LENGTH | PROPOSED CYCLE LENGTH |
|-----------------|-----------------------|-----------------------|
| N/A | | |
| | | |
| | | |
| | | |

| | | | | DEPARTMENTAL APPROVAL |
|---|------------------------------|-----------------------------|---|--|
| 44. Does the design minimize the signal cycle length to reduce pedestrian wait time? | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 45. Does the design provide adequate clearance time for pedestrians to cross streets? | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 46. Does the design minimize pedestrian crossing distances by narrowing streets or travel lanes, extending curbs, reducing curb radii, or using medians or refuge islands to break up long crossings? | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| If yes, City Plan Action may be required. | | | | |
| 47. Identify “High Priority” intersection and crossing design treatments (see Handbook Table 1) that will be incorporated into the design, where width permits. Are the following “High Priority” design treatments identified and dimensioned on the plan? | | | | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| ▪ Marked Crosswalks | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| ▪ Pedestrian Refuge Islands | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| ▪ Signal Timing and Operation | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| ▪ Bike Boxes | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 48. Does the design reduce vehicle speeds and increase visibility for all modes at intersections? | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |
| 49. Overall, do intersection designs limit conflicts between all modes and promote pedestrian and bicycle safety? | YES <input type="checkbox"/> | NO <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> | YES <input type="checkbox"/> NO <input type="checkbox"/> |

APPLICANT: Intersections & Crossings Component

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW: Intersections & Crossings Component

Reviewer Comments: _____

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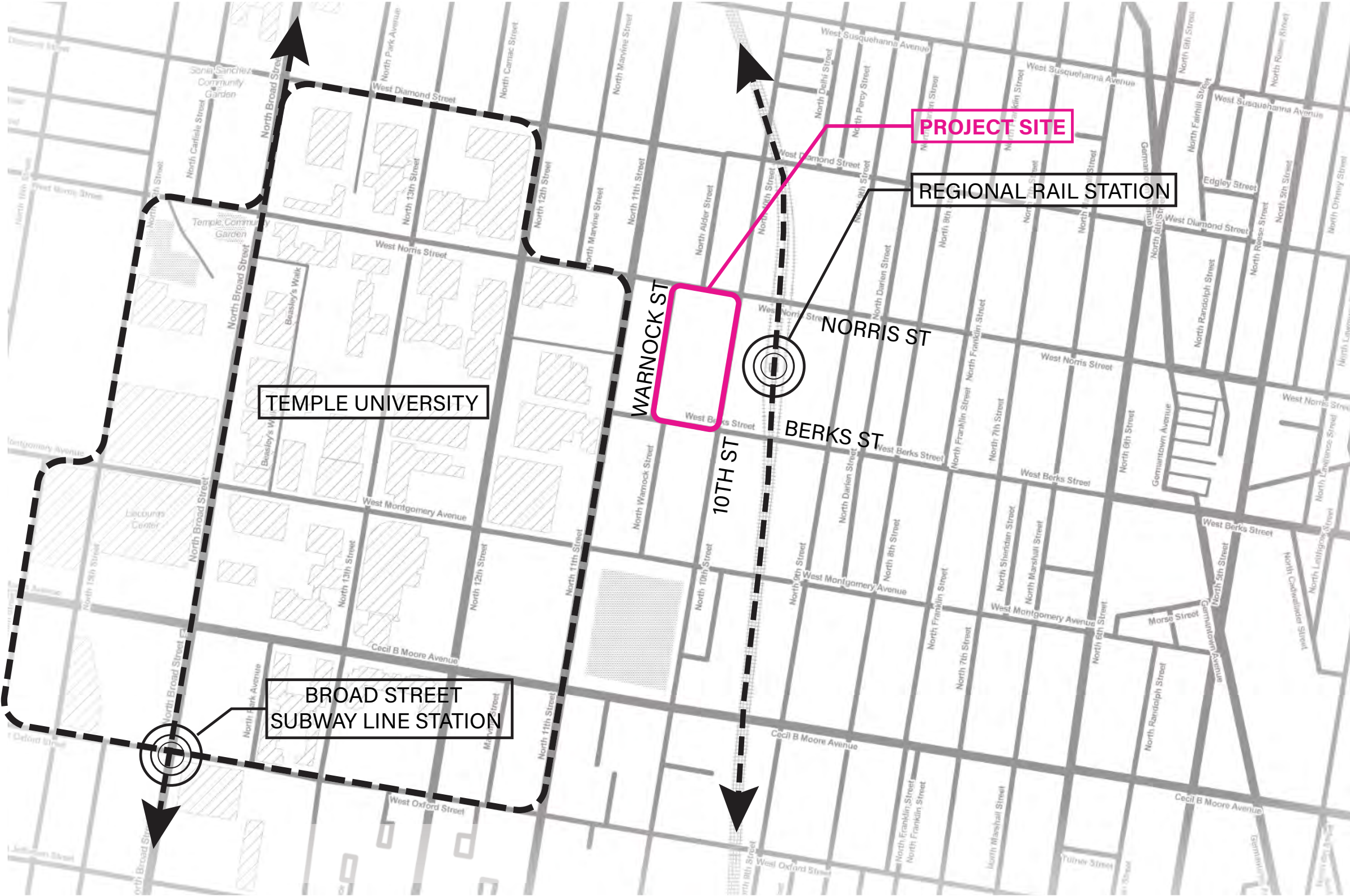
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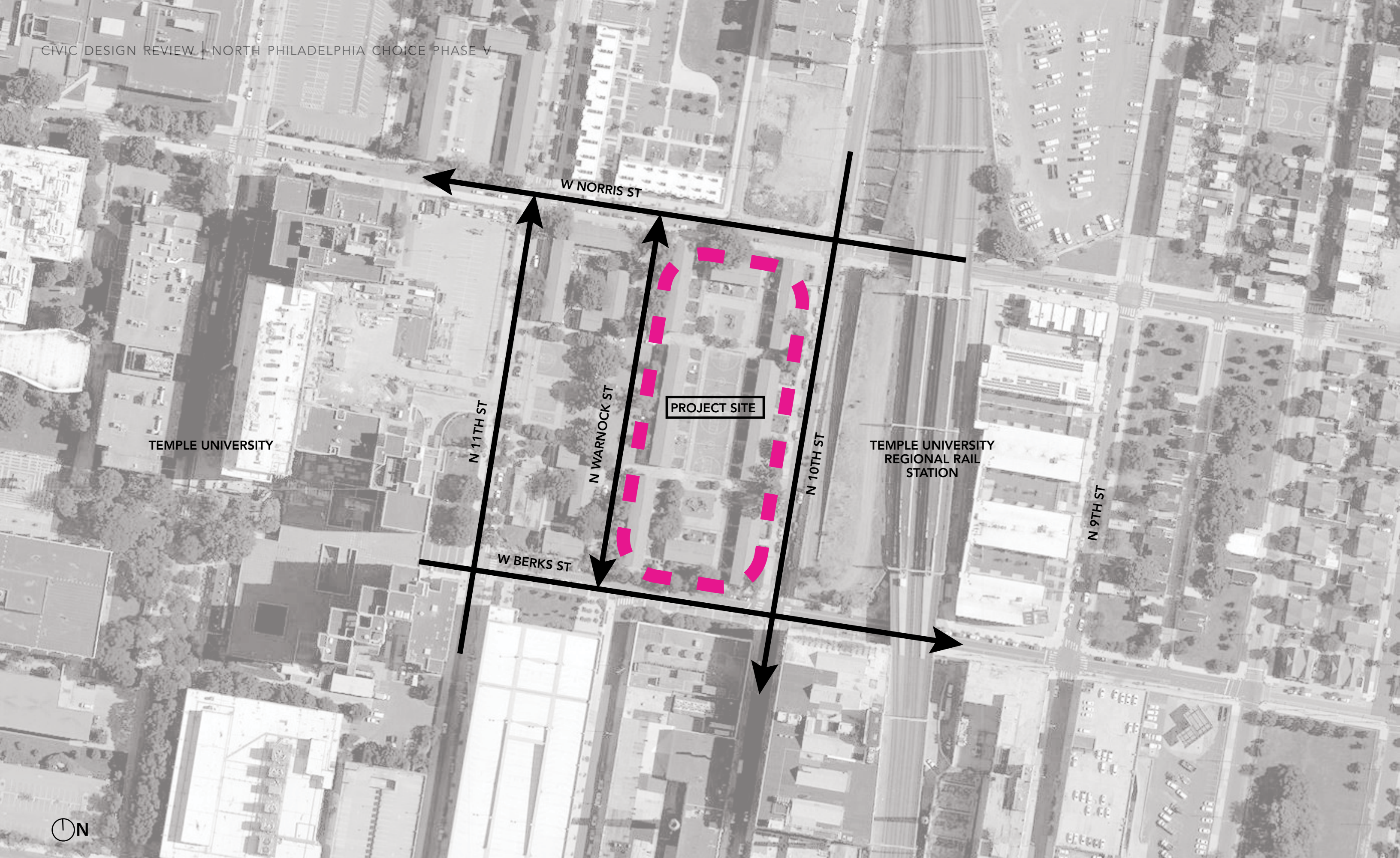
APPLICANT

Additional Explanation / Comments: _____

DEPARTMENTAL REVIEW

Additional Reviewer Comments: _____

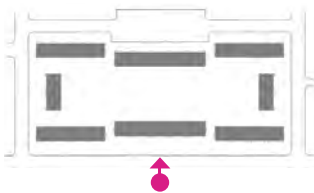




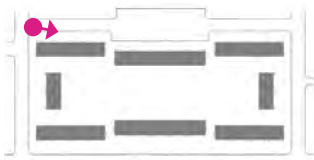
SITE CONTEXT MAP



VIEW FROM REGIONAL RAIL PLATFORM

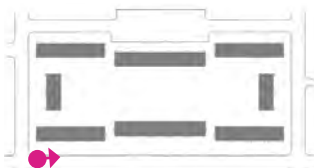


VIEW AT WARNOCK & BERKS STREET

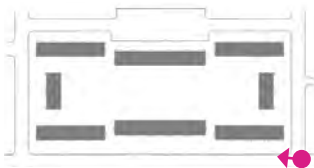




VIEW AT 10TH AND BERKS STREET

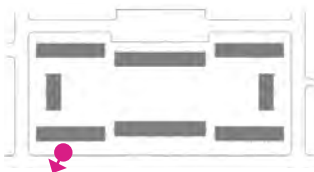


VIEW AT 10TH AND NORRIS STREET

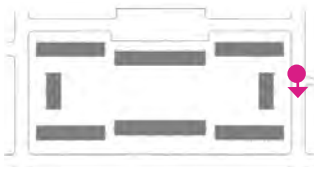




SOUTH FACING VIEW AT 10TH AND BERKS

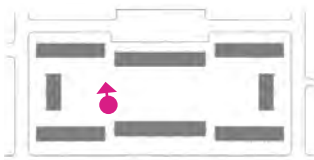


EAST FACING VIEW ON NORRIS STREET

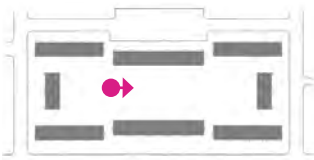




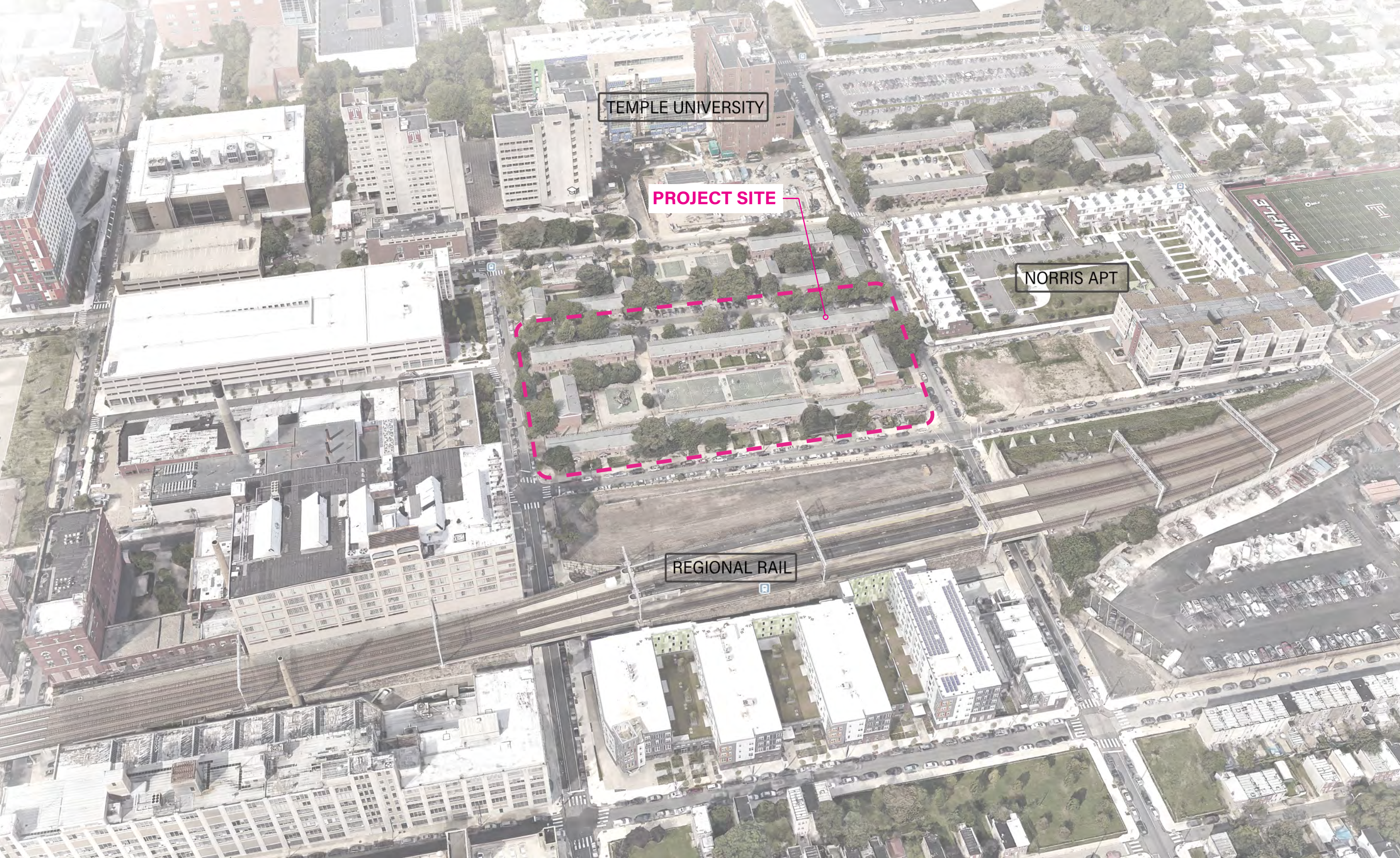
SITE INTERIOR CONDITION



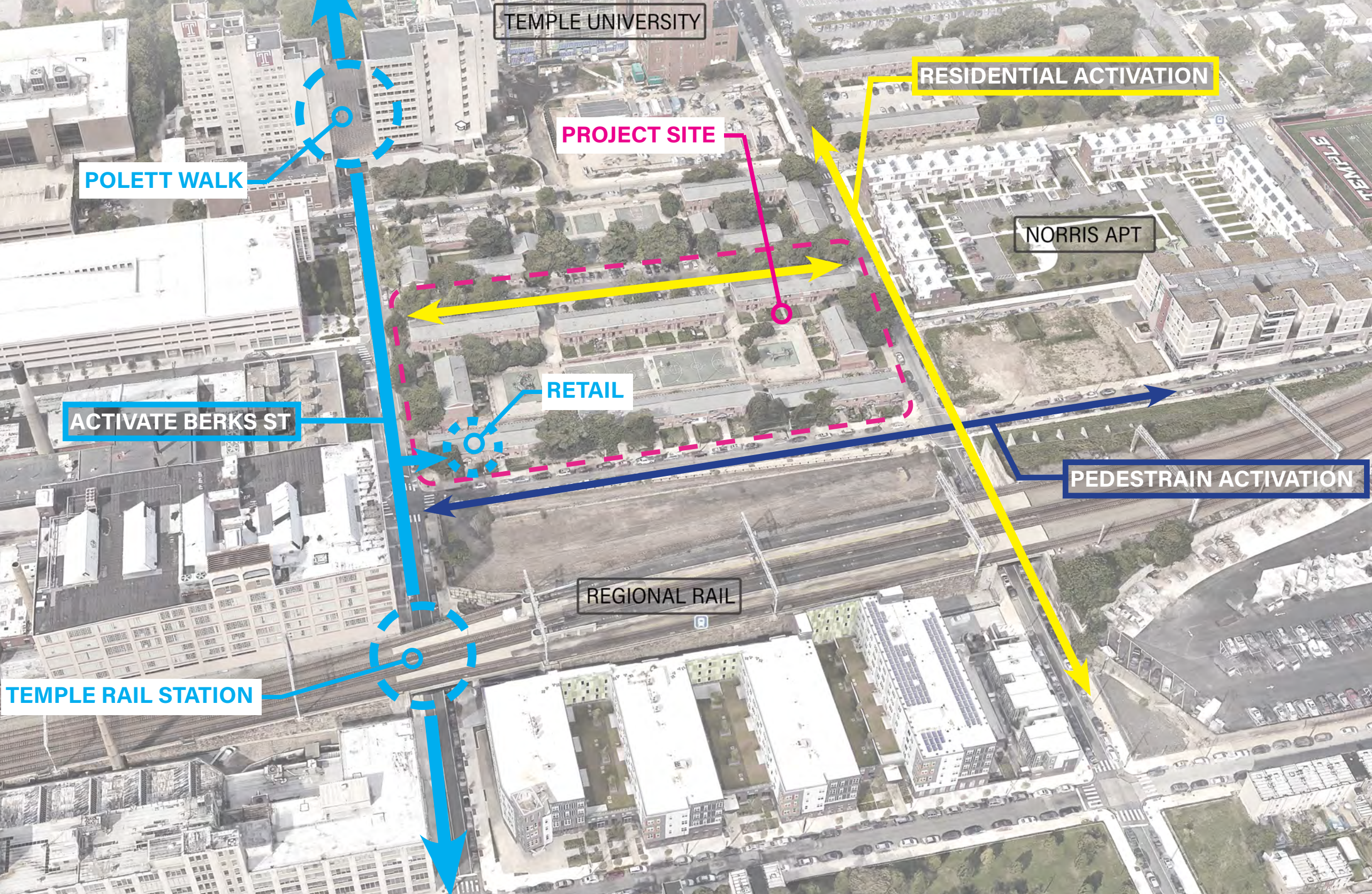
SITE INTERIOR CONDITION

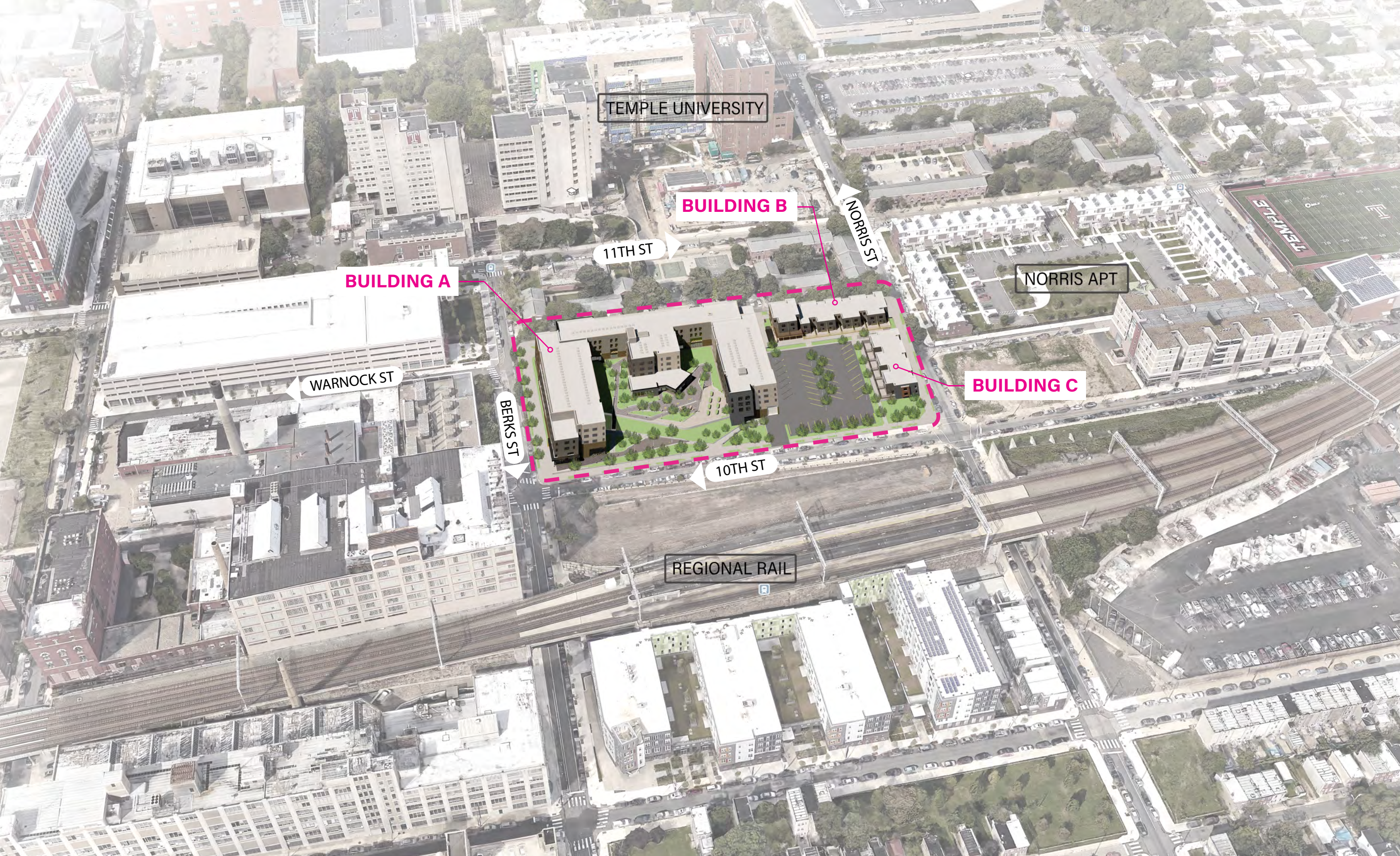




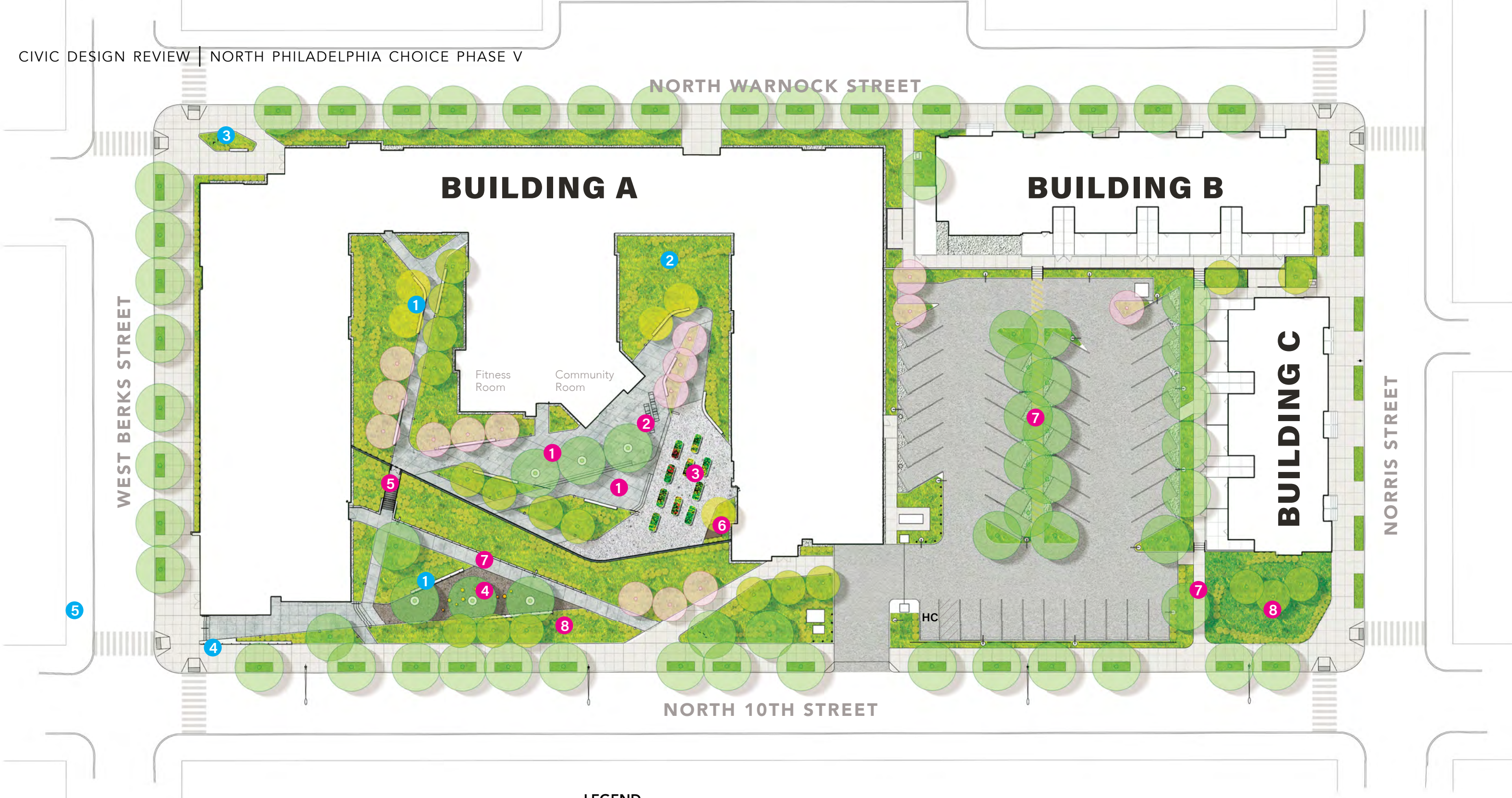


EXISTING SITE AERIAL VIEW





PROPOSED SITE AERIAL VIEW



LEGEND

- | | | |
|---|-----------------------------------|---------------------------------------|
| 1 Flexible Space with Movable Tables and Charis | 7 Pedestrian Walkway | 1 Concrete Seat Wall (TYP.) |
| 2 Outdoor BBQ Area /Griller | 8 Rain Garden (Bioretention Area) | 2 Planting Area (TYP.) |
| 3 Edible Garden | | 3 Entrance Planting Area with Signage |
| 4 Creative Play Area | | 4 Entrance Seat Wall with Signage |
| 5 Egress Stair with Lockable Gate | | 5 Indego Bike Share Station |
| 6 Outdoor Composting Bins & Enclosure | | |

BUILDING A

LOWER FIRST FLOOR PLAN + UPPER FIRST FLOOR PLAN

KEY - COMMON SPACES

- 1

RETAIL
- 2

LOWER LOBBY
- 3

BIKE STORAGE
- 4

ELECTRICAL RM
- 5

LOADING
- 6

FIRE PUMP RM
- 7

MAINTENANCE RM
- 8

STORAGE
- 9

MAIN LOBBY
- 10

MAIL/ PACKAGE
- 11

MANAGEMENT SUITE
- 12

LOUNGE
- 13

COMMUNITY RM
- 14

FITNESS CENTER
- 15

LAUNDRY
- 16

TRASH
- 17

LOWER LOBBY MEZZANINE
- 18

GARDEN SUPPLY RM

KEY - RESIDENTIAL

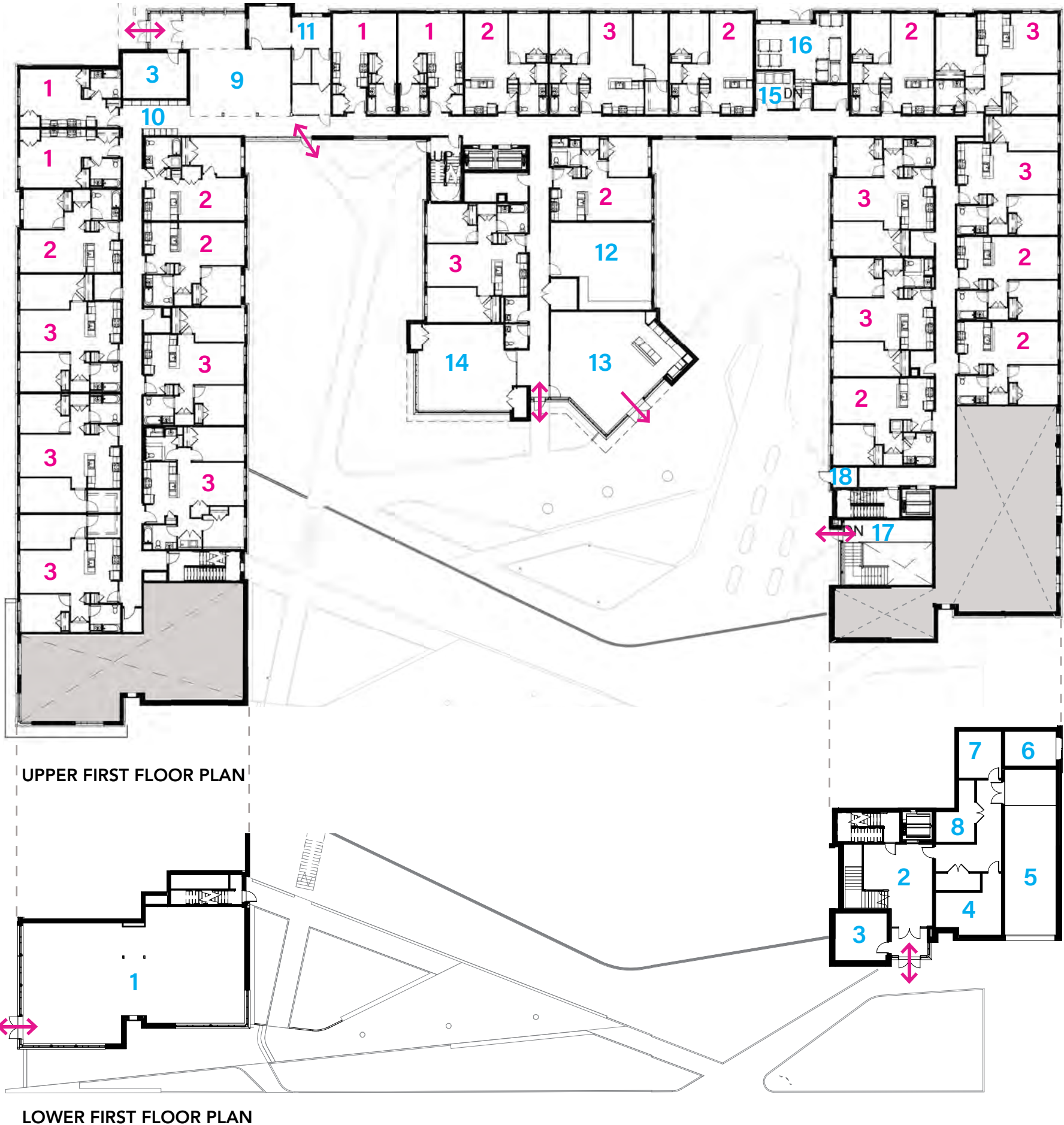
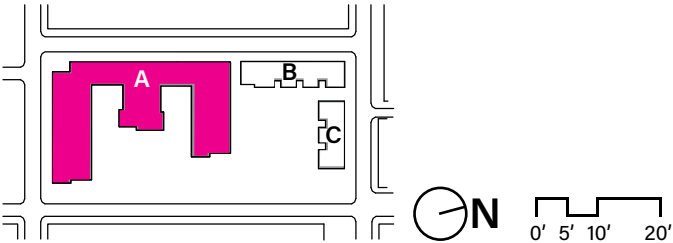
- 1

STUDIO
- 2

ONE BEDROOM
- 3

TWO BEDROOM

 BUILDING ENTRANCE



BUILDING A

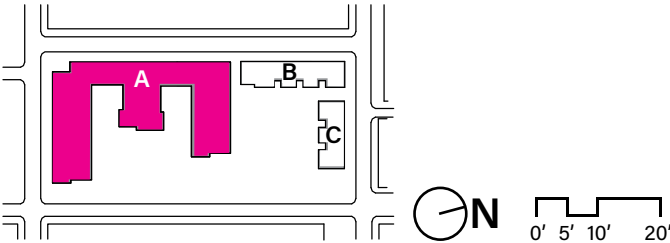
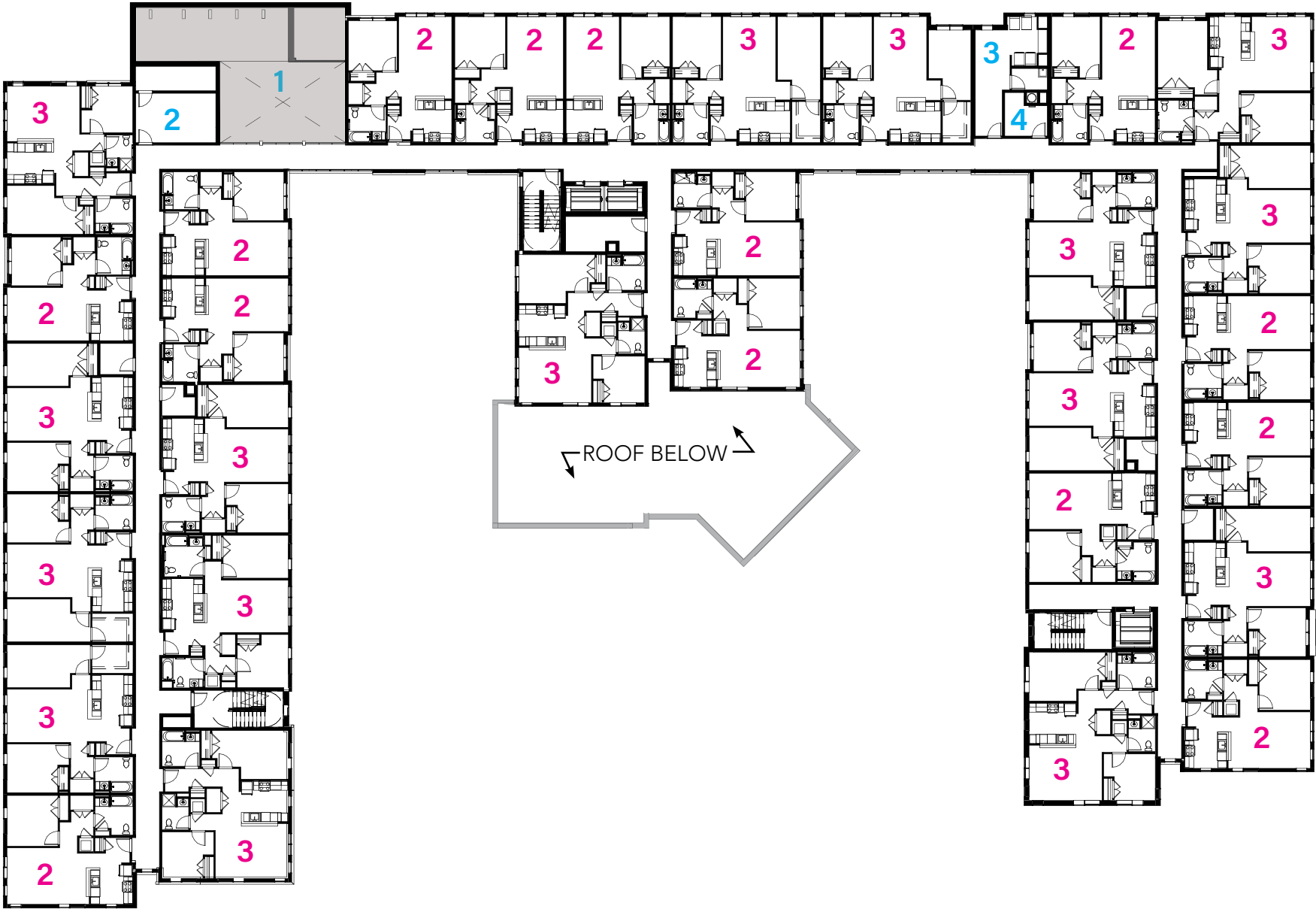
SECOND FLOOR PLAN

KEY - COMMON SPACES

- 1 OPEN TO LOBBY BELOW
- 2 STORAGE
- 3 LAUNDRY
- 4 TRASH RM

KEY - RESIDENTIAL

- 1 STUDIO
- 2 ONE BEDROOM
- 3 TWO BEDROOM



BUILDING A - PROPOSED SECOND FLOOR PLAN

BUILDING B

FIRST + SECOND + THIRD FLOOR PLANS

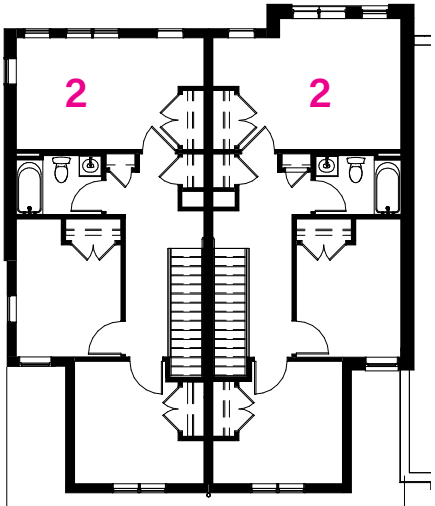
KEY - COMMON SPACES

1 SPRINKLER RM

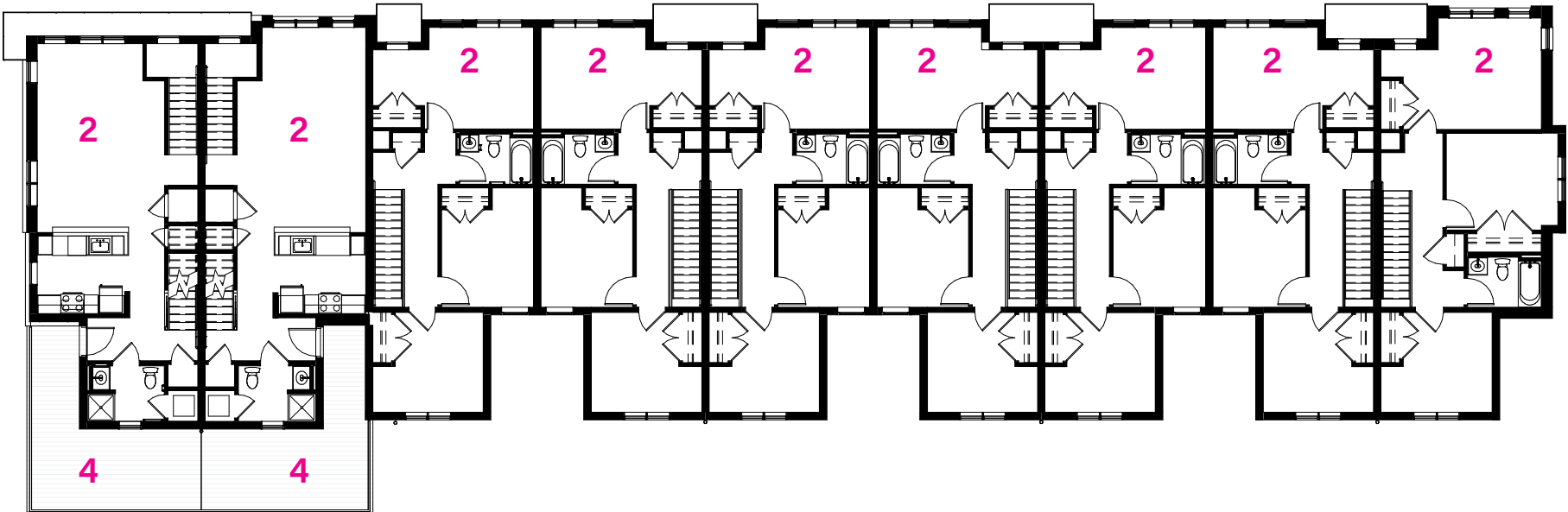
KEY - RESIDENTIAL

- 1 THREE BEDROOM FLAT
- 2 THREE BEDROOM STACK
- 3 YARD
- 4 DECK

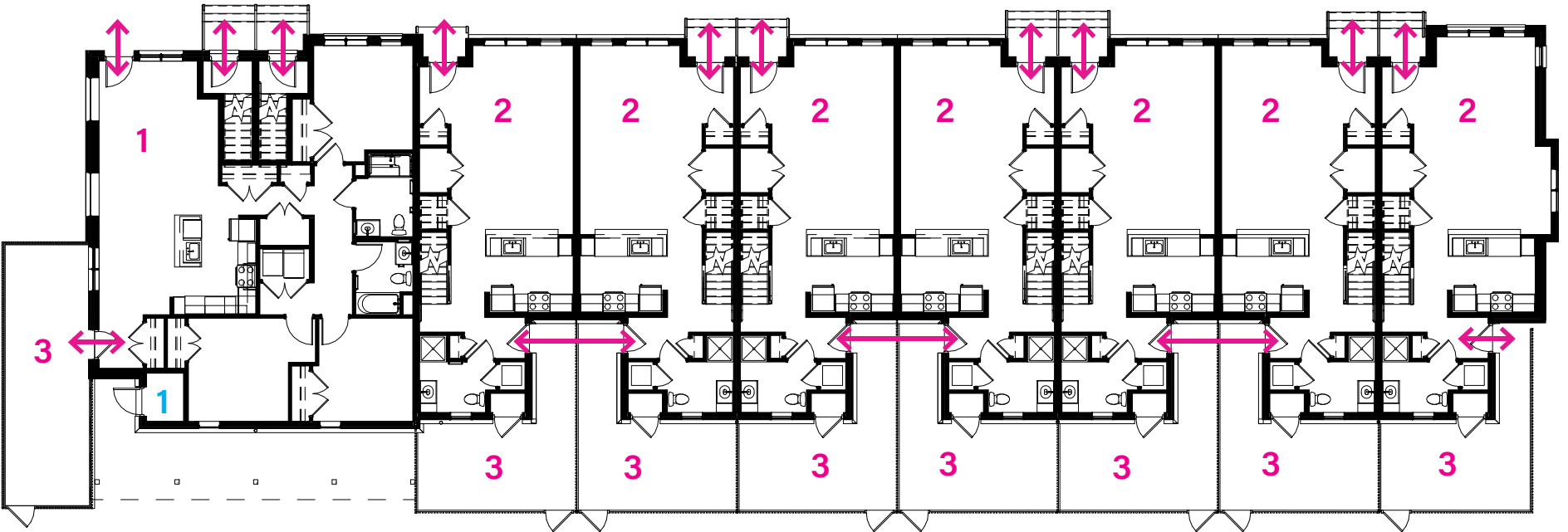
UNIT ENTRANCE



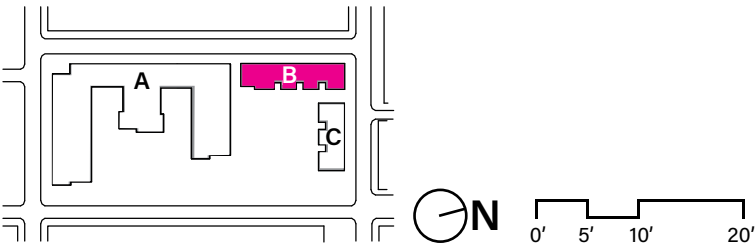
THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



BUILDING C

FIRST + SECOND FLOOR PLANS

KEY - COMMON SPACES

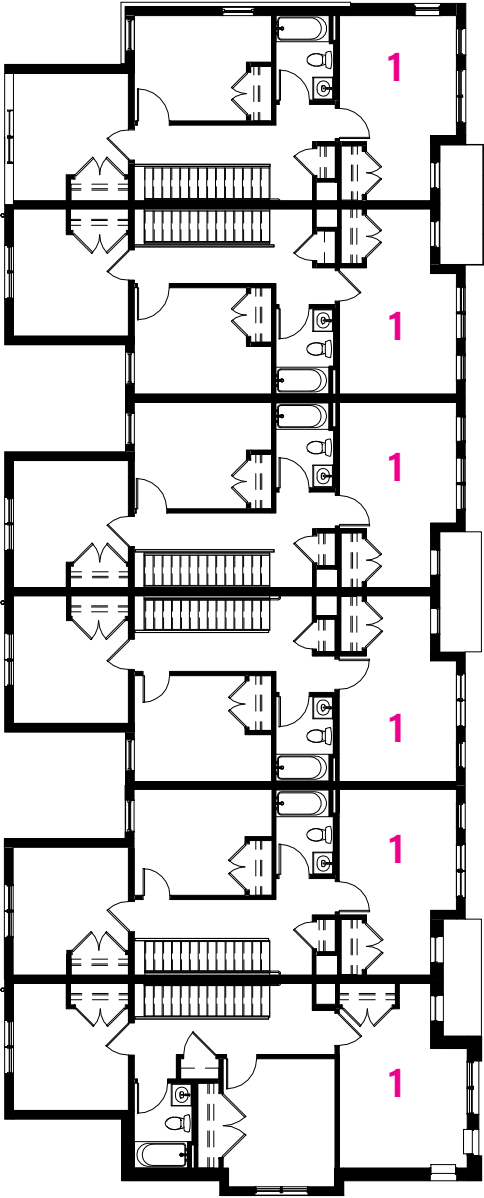
1 SPRINKLER RM

KEY - RESIDENTIAL

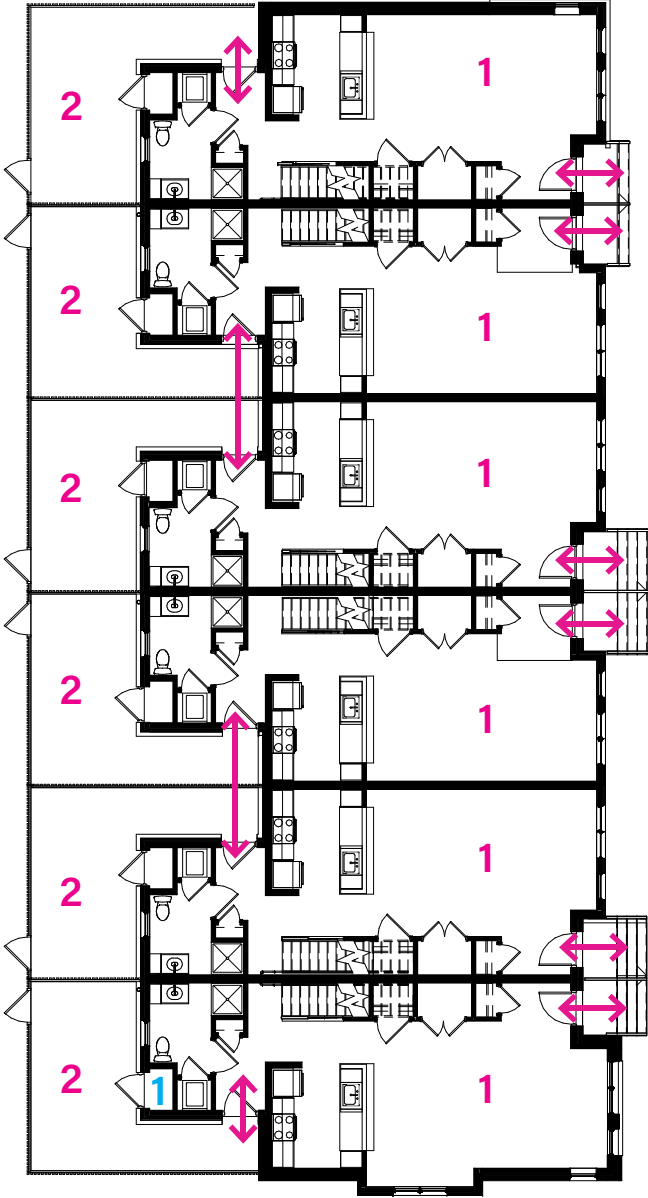
1 THREE BEDROOM STACK

2 YARD

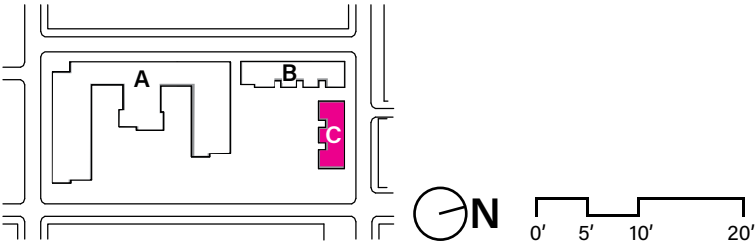
UNIT ENTRANCE



SECOND FLOOR PLAN



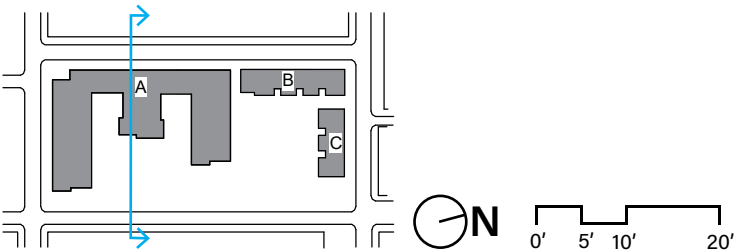
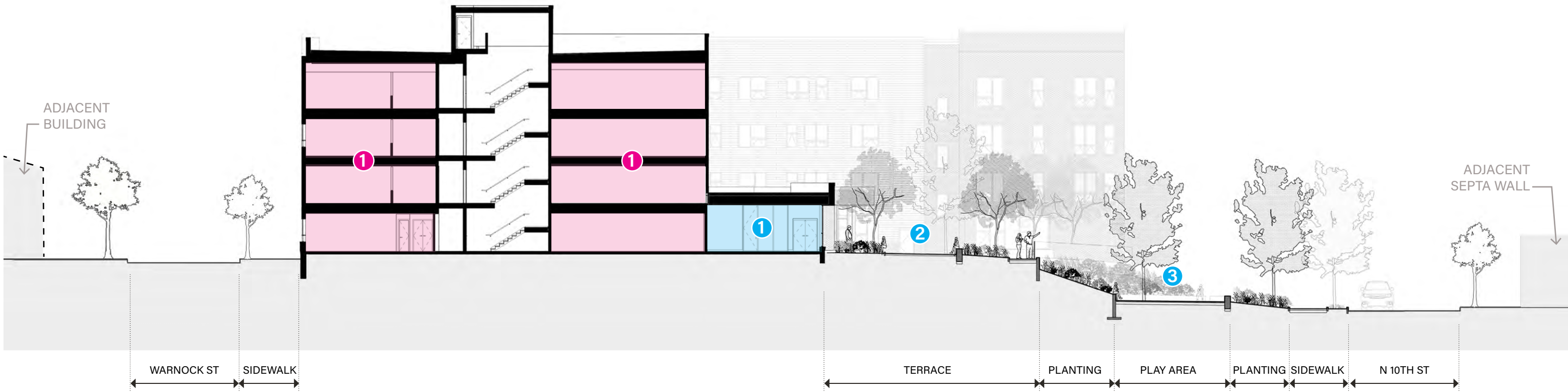
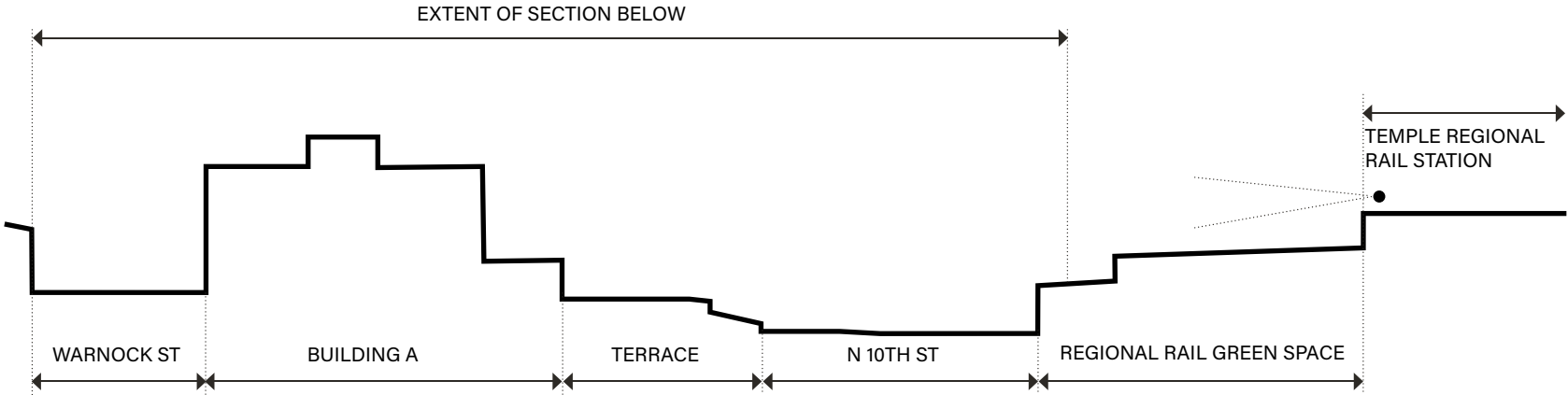
FIRST FLOOR PLAN



BUILDING A

- KEY - COMMON SPACES
- 1 FITNESS CENTER
 - 2 OUTDOOR SEATING/ COMMUNITY GARDEN & GRILL AREA
 - 3 CREATIVE PLAY AREA

- KEY - RESIDENTIAL
- 1 RESIDENTIAL UNIT



EAST - WEST SITE SECTION

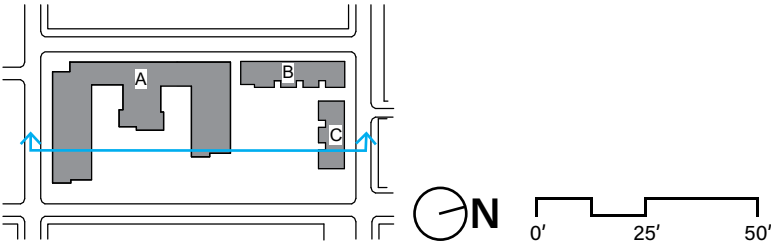
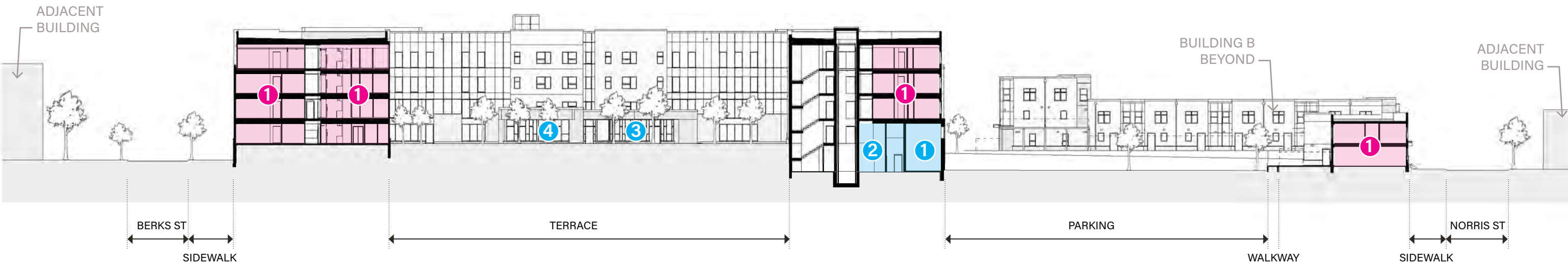
SITE SECTION

KEY - COMMON SPACES

- 1 LOADING DOCK
- 2 BUILDING STORAGE
- 3 COMMUNITY ROOM
- 4 FITNESS CENTER

KEY - RESIDENTIAL

- 1 RESIDENTIAL UNIT



NORTH - SOUTH SITE SECTION



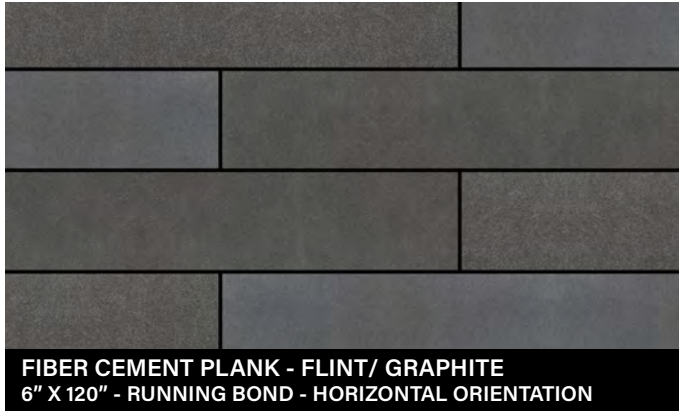
VIEW FROM 10TH & BERKS STREET



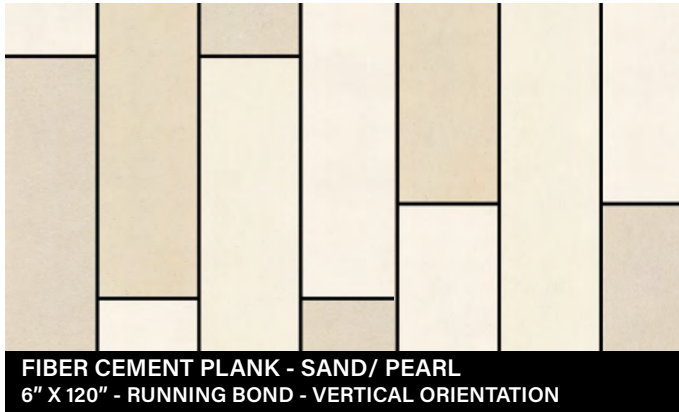
VIEW FROM BERKS & WARNOCK STREET



FIBER CEMENT PANEL - LIGHT GREY



FIBER CEMENT PLANK - FLINT/ GRAPHITE
6" X 120" - RUNNING BOND - HORIZONTAL ORIENTATION



FIBER CEMENT PLANK - SAND/ PEARL
6" X 120" - RUNNING BOND - VERTICAL ORIENTATION



WOOD SLAT CEILINGS - WESTERN HEMLOCK
AT LOBBIES, COMMUNITY & FITNESS ROOMS, & EXTERIOR CANOPIES



FIELD BRICK - NORMAN EBONY IRON SPOT VELOUR



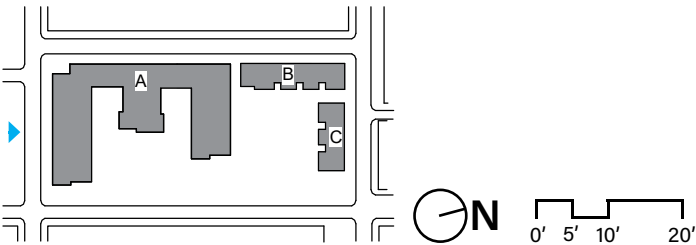
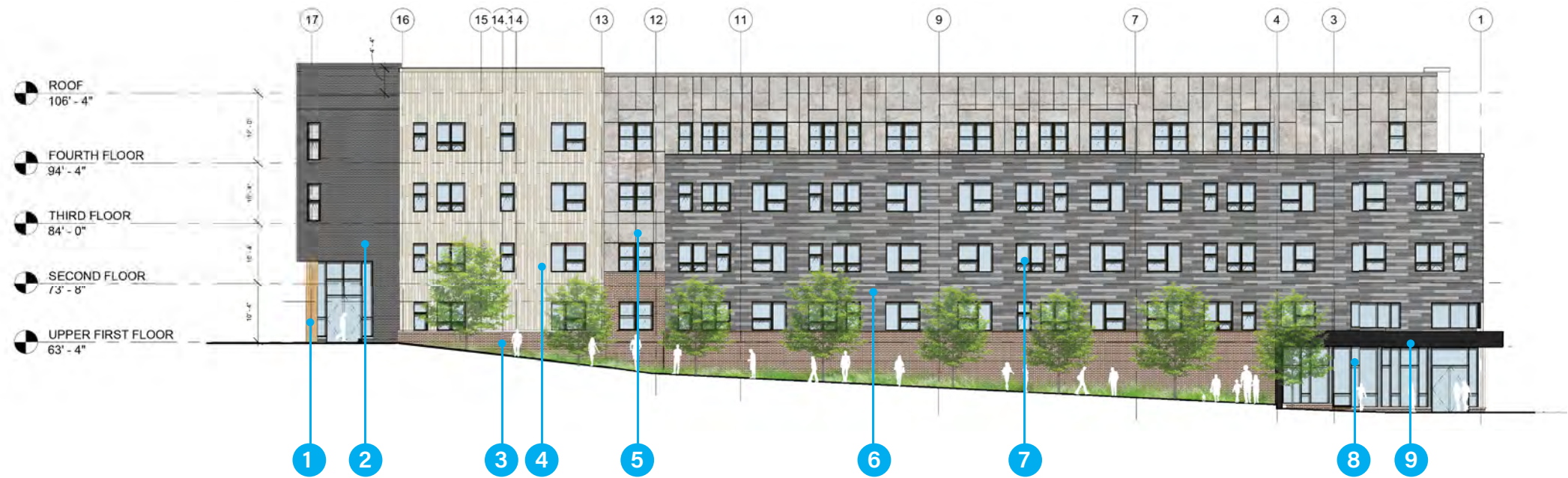
GLULAM COLUMNS TO MATCH WOOD CEILINGS
AT BUILDING A - MAIN LOBBY



ACCENT BRICK - NORMAN CAPITAL IRON SPOT VELOUR

BUILDING A

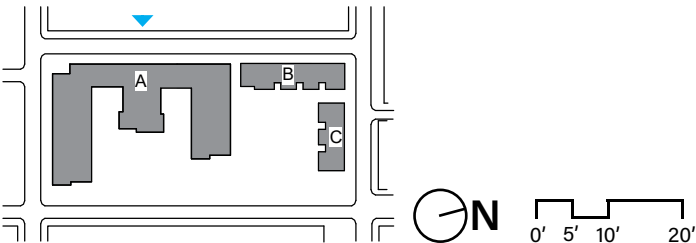
- MATERIALS KEY**
- 1 WOOD GLULAM COLUMNS
 - 2 ACCENT BRICK
 - 3 FIELD BRICK
 - 4 FIBER CEMENT PLANK - SAND/PEARL
 - 5 FIBER CEMENT PANEL - LIGHT GREY
 - 6 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 7 VINYL WINDOWS - BRONZE
 - 8 STOREFRONT- BRONZE
 - 9 ALUMINUM COMPOSITE PANEL - BRONZE



BUILDING A - BERKS STREET ELEVATION (SOUTH)

BUILDING A

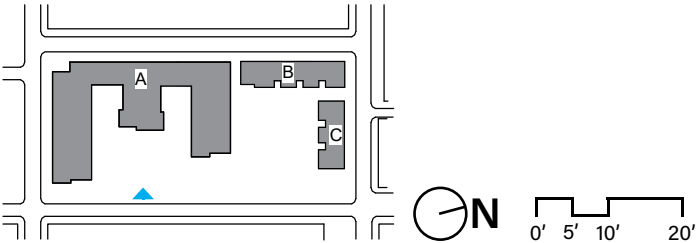
- MATERIALS KEY**
- 1 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 2 FIBER CEMENT PANEL - LIGHT GREY
 - 3 FIBER CEMENT PLANK - SAND/PEARL
 - 4 FIELD BRICK
 - 5 VINYL WINDOWS - BRONZE
 - 6 ACCENT BRICK
 - 7 STOREFRONT - BRONZE
 - 8 WOOD GLULAM COLUMNS



BUILDING A - WARNOCK STREET ELEVATION (WEST)

BUILDING A

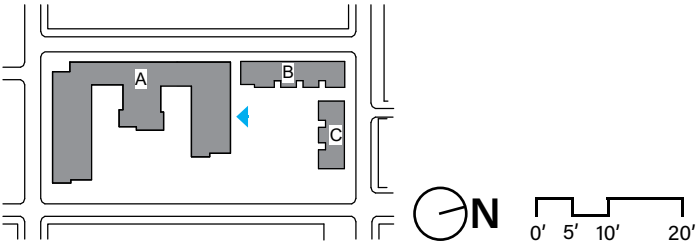
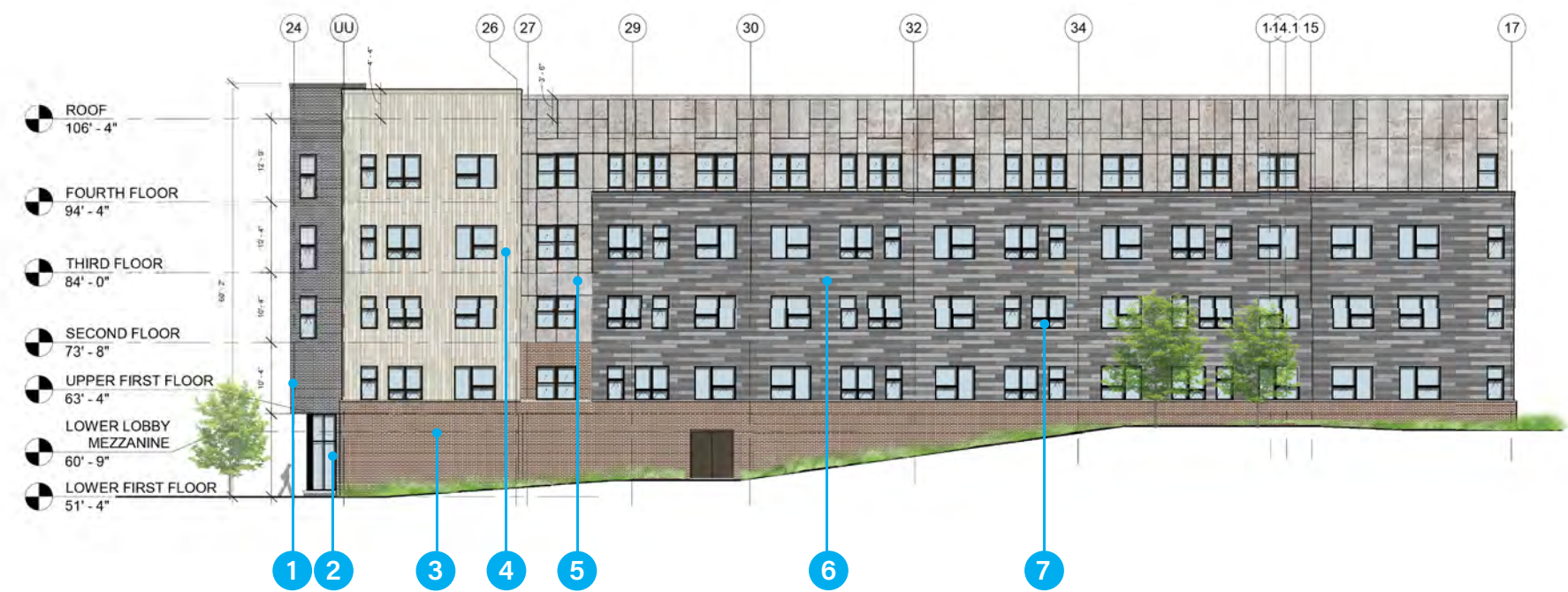
- MATERIALS KEY**
- 1 ALUMINUM COMPOSITE PANEL - BRONZE
 - 2 STOREFRONT - BRONZE
 - 3 FIBER CEMENT PLANK - SAND/PEARL
 - 4 FIBER CEMENT PANEL - LIGHT GREY
 - 5 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 6 VINYL WINDOWS - BRONZE
 - 7 ACCENT BRICK
 - 8 FIELD BRICK



BUILDING A - 10TH STREET ELEVATION (EAST)

BUILDING A

- MATERIALS KEY**
- 1 ACCENT BRICK
 - 2 STOREFRONT - BRONZE
 - 3 FIELD BRICK
 - 4 FIBER CEMENT PLANK - SAND/PEARL
 - 5 FIBER CEMENT PANEL - LIGHT GREY
 - 6 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 7 VINYL WINDOWS - BRONZE



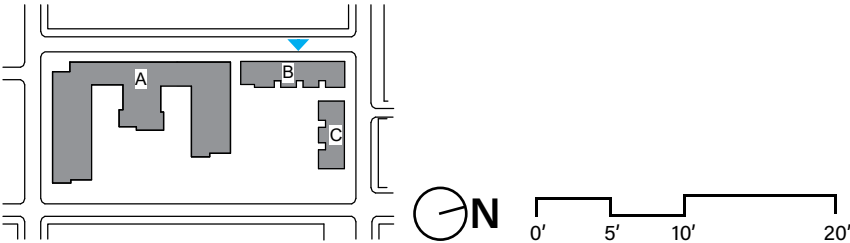
BUILDING A - NORTH ELEVATION FACING PARKING LOT



VIEW FROM NORRIS & WARNOCK STREET

BUILDING B

- MATERIALS KEY
- 1 ACCENT BRICK
 - 2 FIELD BRICK
 - 3 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 4 FIBER CEMENT PANEL - LIGHT GREY
 - 5 VINYL WINDOWS - BRONZE
 - 6 METAL CLAD CANOPY - BRONZE



BUILDING B - WEST ELEVATION (WARNOCK STREET)

BUILDING B

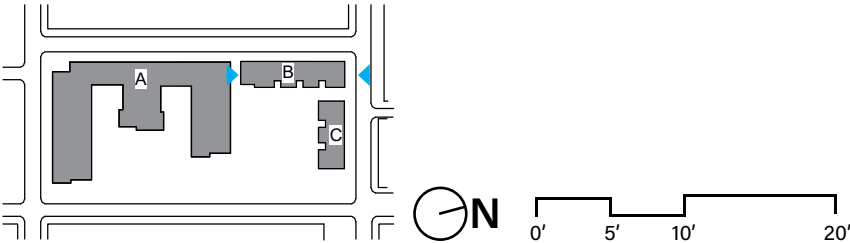
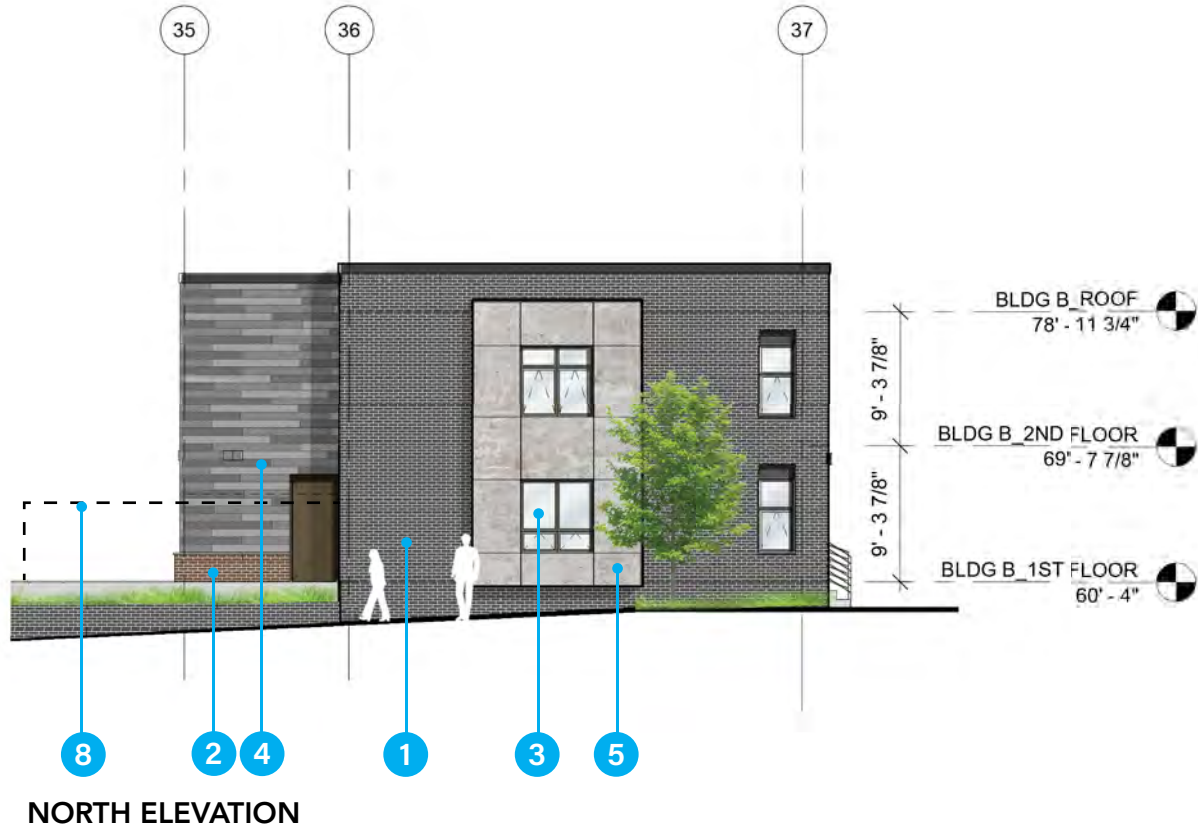
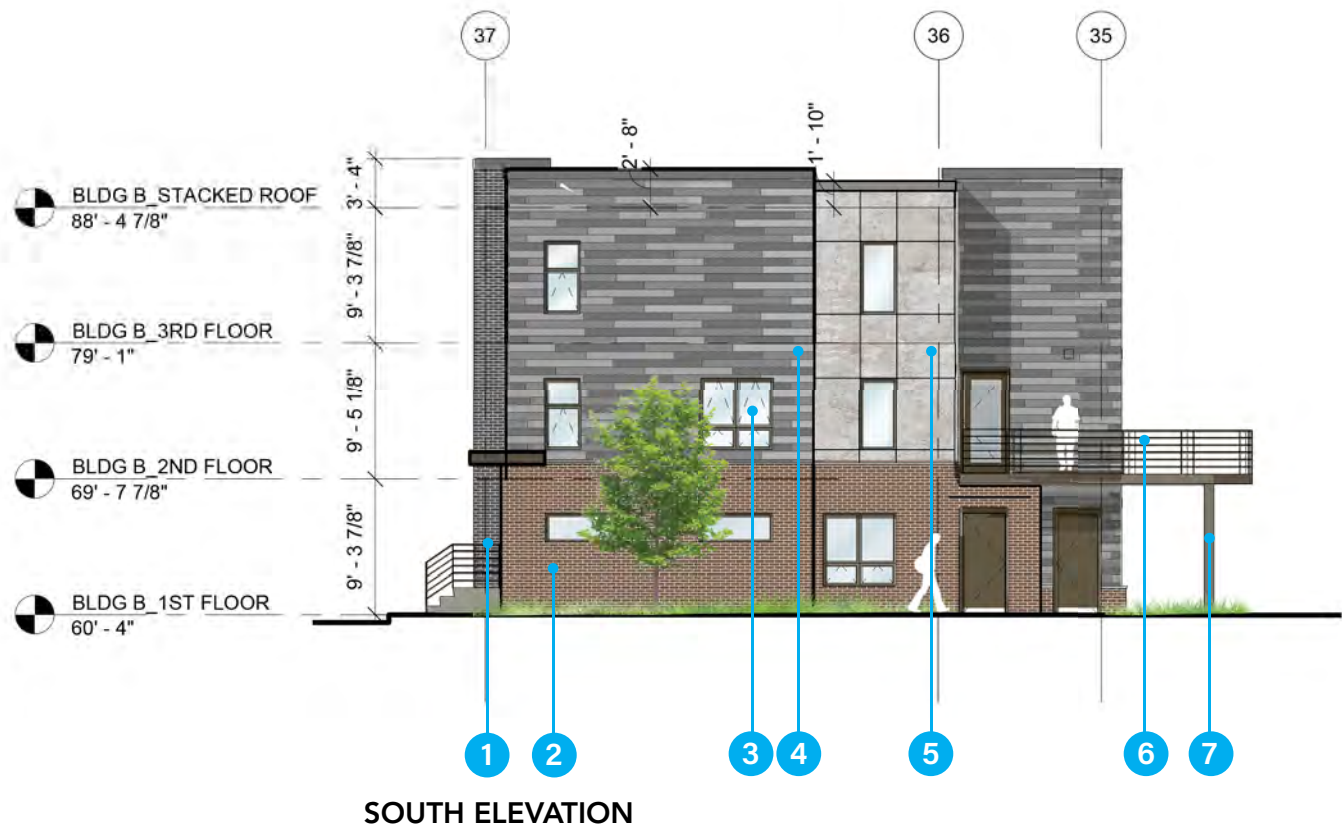
- MATERIALS KEY**
- 1 PAINTED WOOD DECK FRAMING
 - 2 PAINTED GALVANIZED STEEL HANDRAIL
 - 3 ACCENT BRICK
 - 4 FIELD BRICK
 - 5 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 6 FIBER CEMENT PANEL - LIGHT GREY
 - 7 VINYL WINDOWS - BRONZE
 - 8 CEDAR SHADOW BOX FENCE - YARD SEPARATION



BUILDING B - EAST ELEVATION

BUILDING B

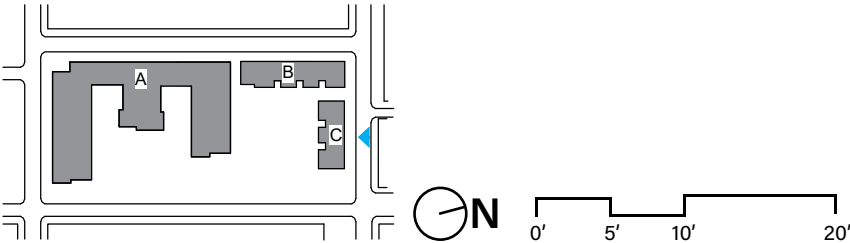
- MATERIALS KEY**
- 1 ACCENT BRICK
 - 2 FIELD BRICK
 - 3 VINYL WINDOWS - BRONZE
 - 4 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 5 FIBER CEMENT PANEL - LIGHT GREY
 - 6 PAINTED GALVANIZED STEEL HANDRAIL
 - 7 PAINTED WOOD DECK FRAMING
 - 8 CEDAR SHADOW BOX FENCE - YARD SEPARATION



BUILDING B - NORTH AND SOUTH ELEVATIONS

BUILDING C

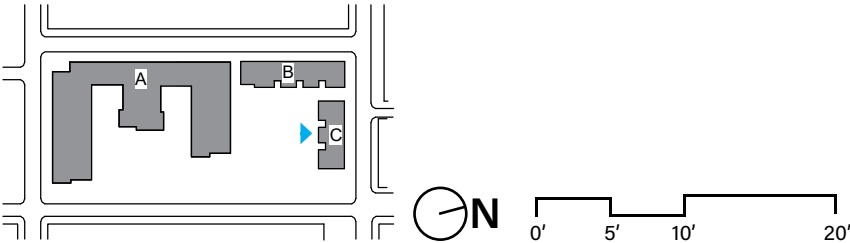
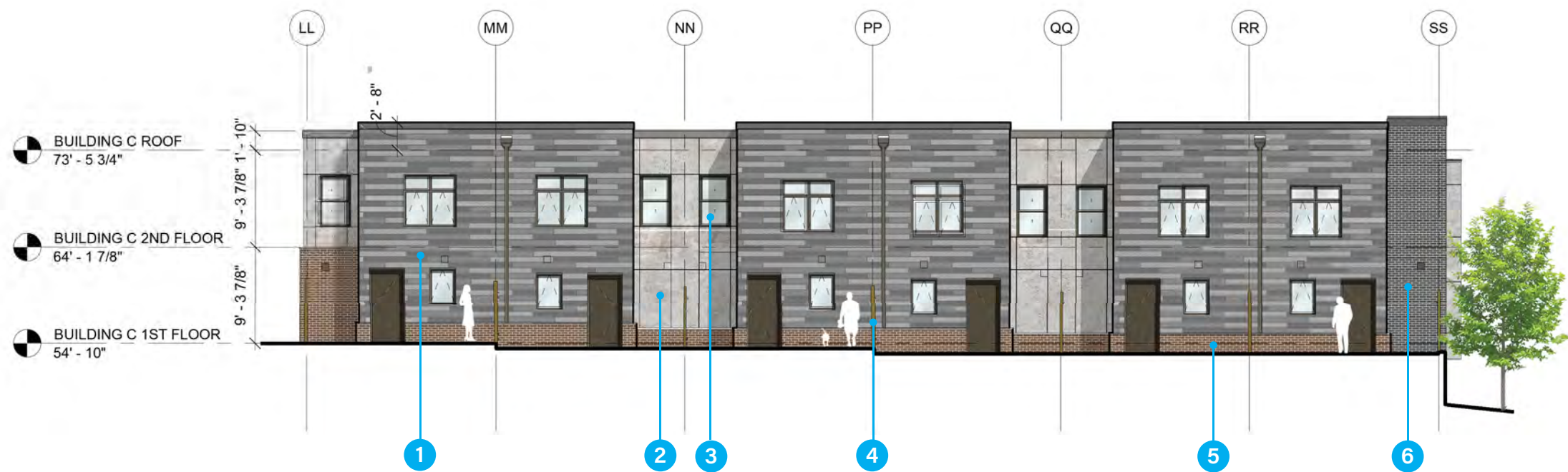
- MATERIALS KEY**
- 1 ACCENT BRICK
 - 2 FIELD BRICK
 - 3 VINYL WINDOWS - BRONZE
 - 4 METAL CLAD CANOPY - BRONZE
 - 5 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 6 FIBER CEMENT PANEL - LIGHT GREY
 - 7 FIBER CEMENT PLANK - SAND/PEARL



BUILDING C - NORTH ELEVATION (NORRIS STREET)

BUILDING C

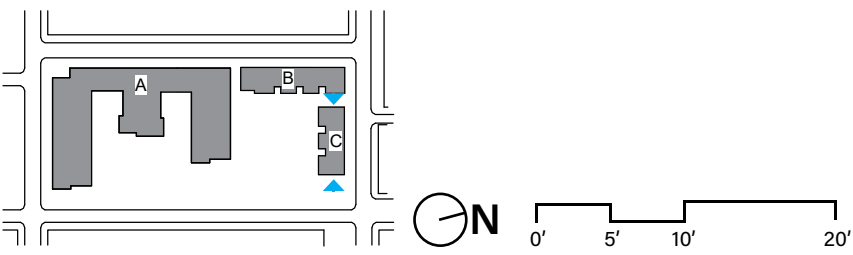
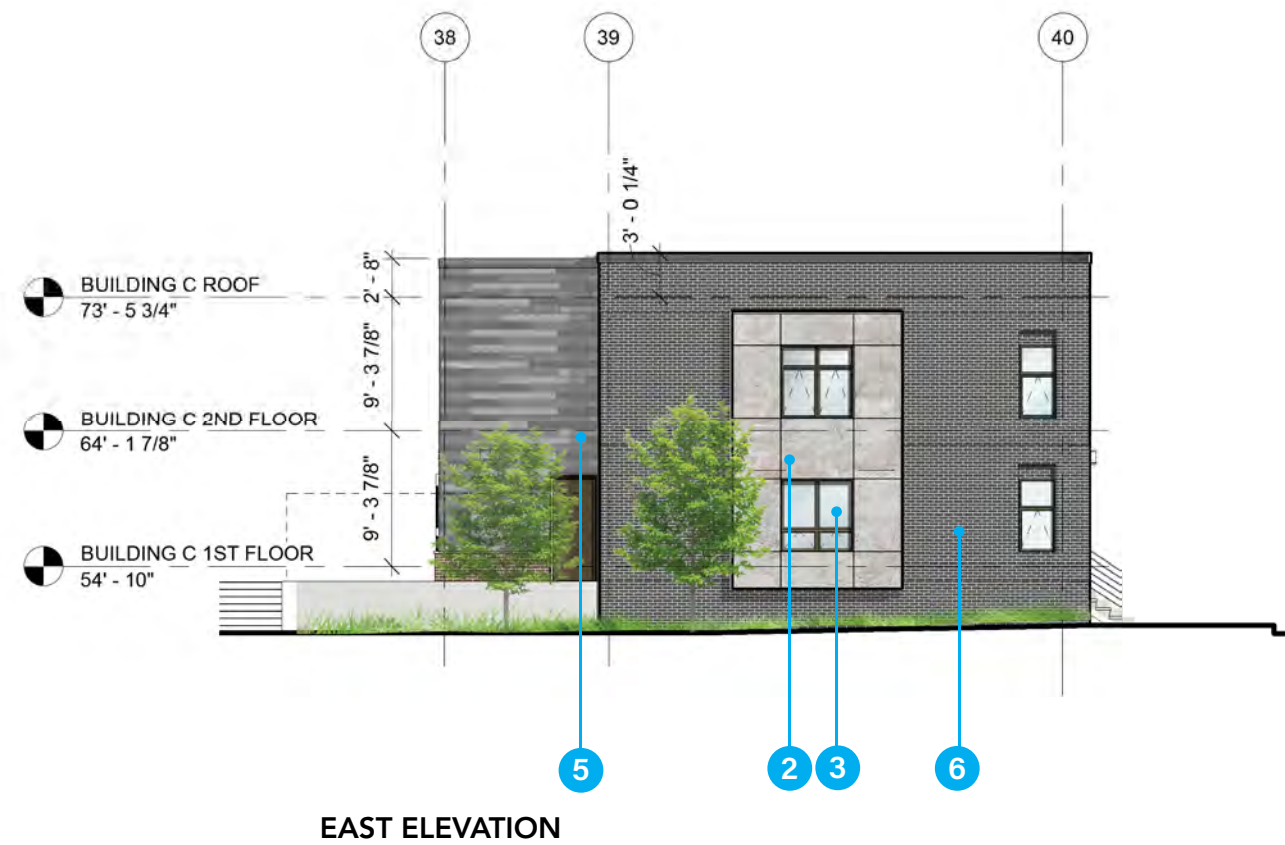
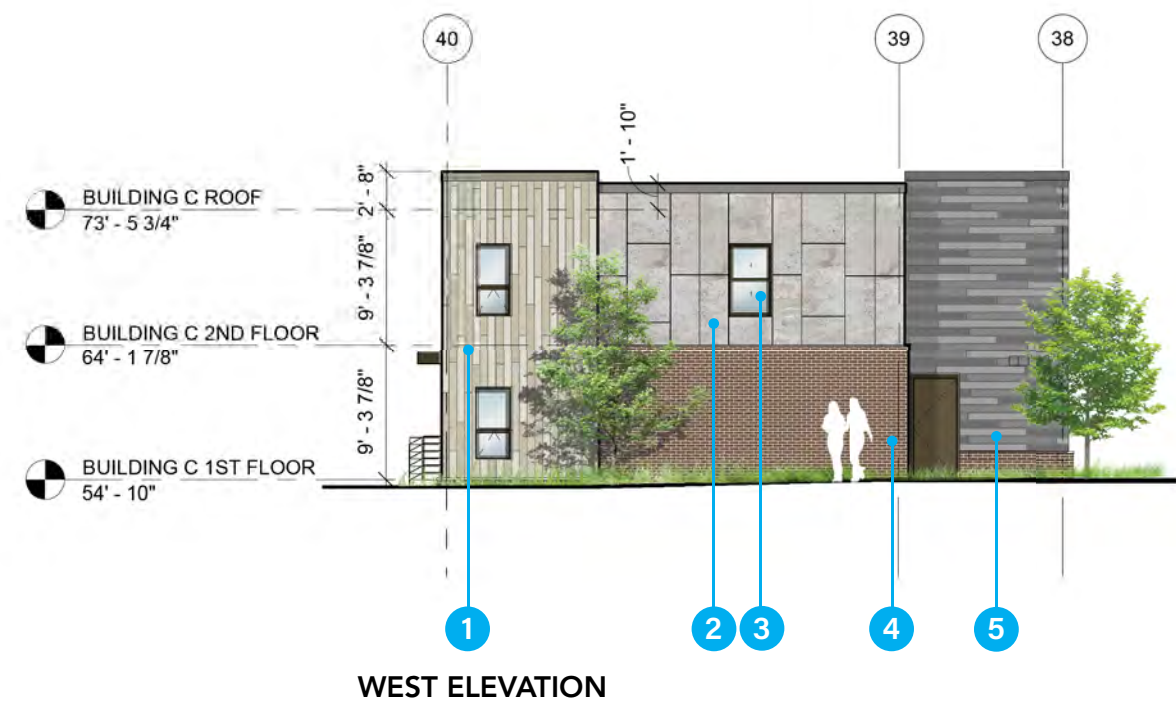
- MATERIALS KEY**
- 1 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 2 FIBER CEMENT PANEL - LIGHT GREY
 - 3 VINYL WINDOWS - BRONZE
 - 4 CEDAR SHADOW BOX FENCE- YARD SEPARATION
 - 5 FIELD BRICK
 - 6 ACCENT BRICK



BUILDING C - SOUTH ELEVATION

BUILDING C

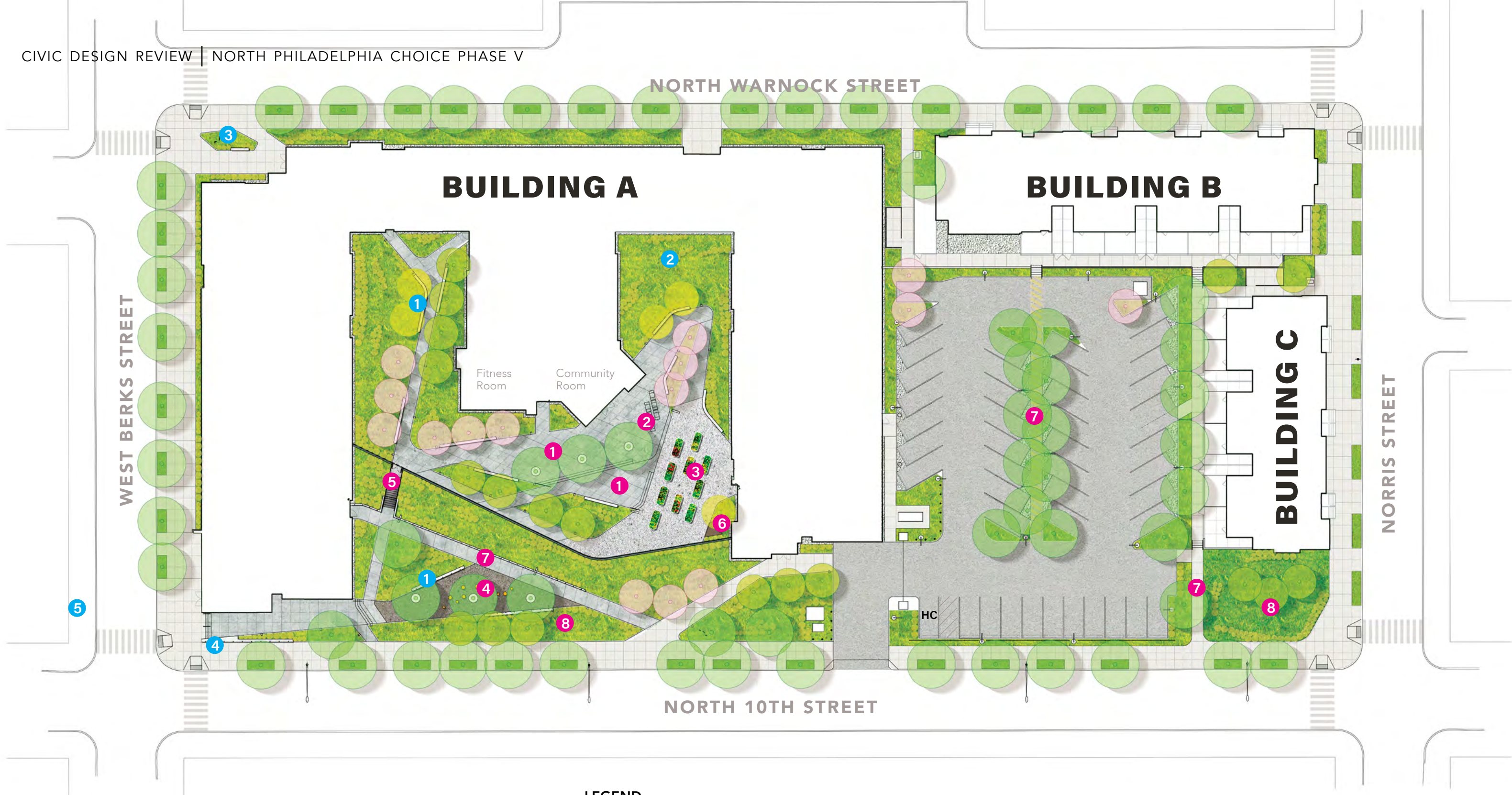
- MATERIALS KEY**
- 1 FIBER CEMENT PLANK - SAND/PEARL
 - 2 FIBER CEMENT PANEL - LIGHT GREY
 - 3 VINYL WINDOWS - BRONZE
 - 4 FIELD BRICK
 - 5 FIBER CEMENT PLANK - FLINT/ GRAPHITE
 - 6 ACCENT BRICK



BUILDING C - EAST AND WEST ELEVATIONS

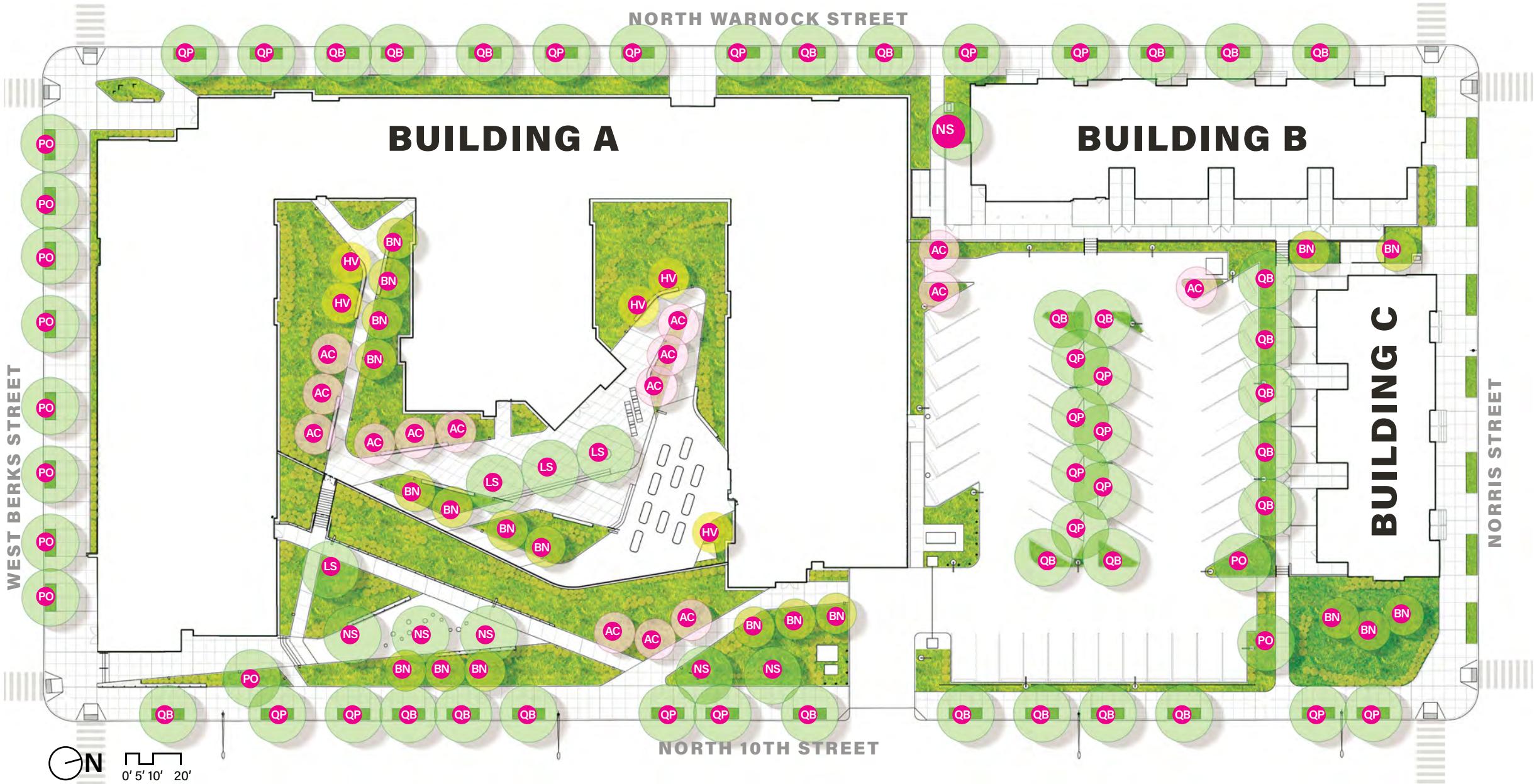


VIEW TO TERRACE AND BUILDING A



LEGEND

- | | | |
|---|-----------------------------------|---------------------------------------|
| 1 Flexible Space with Movable Tables and Charis | 7 Pedestrian Walkway | 1 Concrete Seat Wall (TYP.) |
| 2 Outdoor BBQ Area /Griller | 8 Rain Garden (Bioretention Area) | 2 Planting Area (TYP.) |
| 3 Edible Garden | | 3 Entrance Planting Area with Signage |
| 4 Creative Play Area | | 4 Entrance Seat Wall with Signage |
| 5 Egress Stair with Lockable Gate | | 5 Indego Bike Share Station |
| 6 Outdoor Composting Bins & Enclosure | | |



STREET LEVEL - TREES



Quercus phellos
Willow Oak



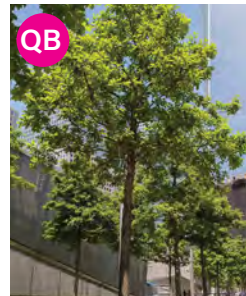
Platanus occidentalis
American Sycamore



Liquidambar styraciflua
Sweet Gum



Nyssa sylvatica
Black Gum



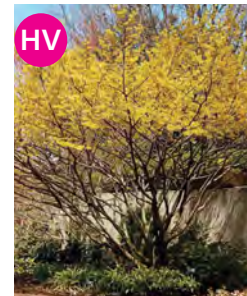
Quercus bicolor
Swamp White Oak



Betula nigra
'Dura-heat' River Birch



Amelanchier laevis
Allegheny Serviceberry



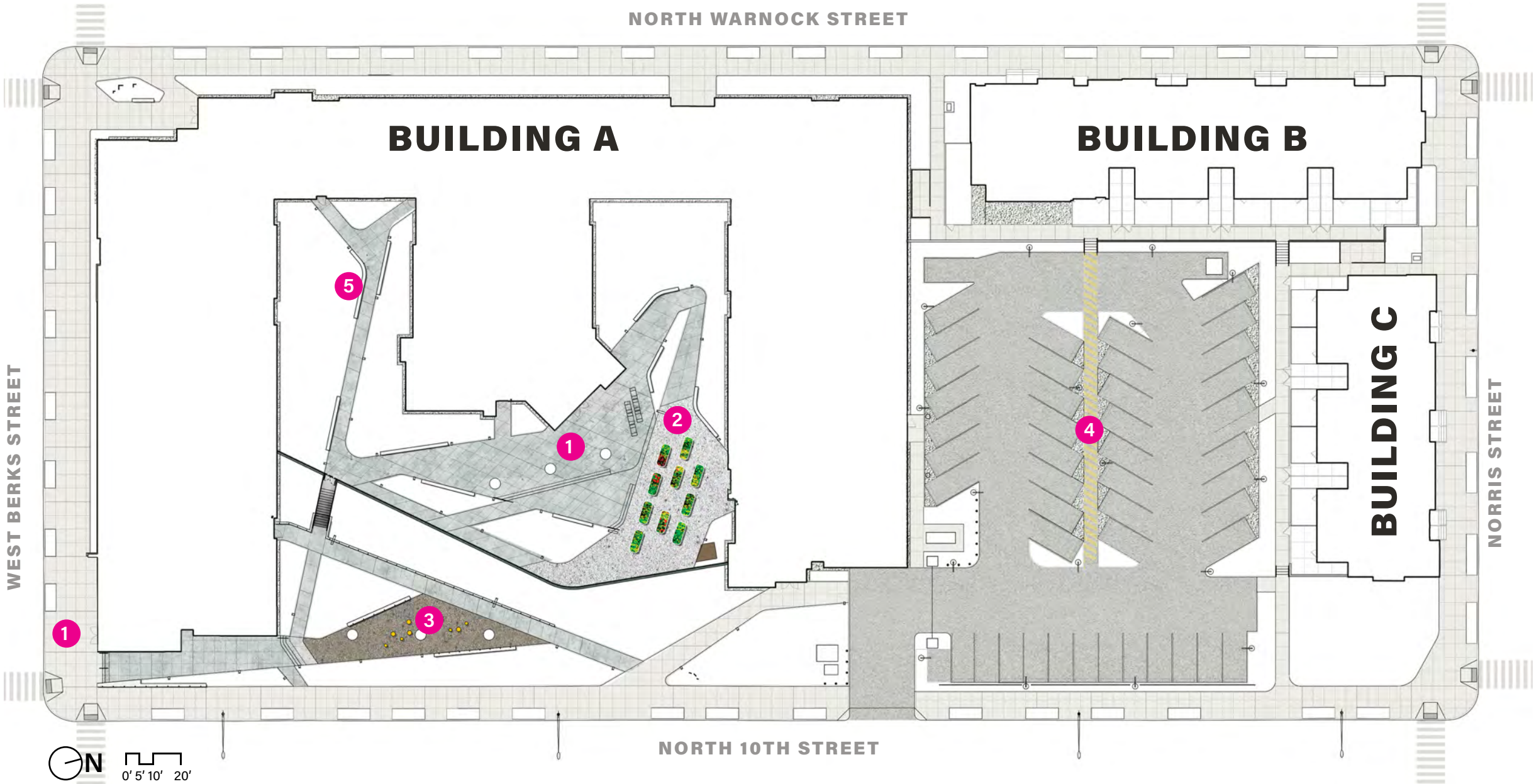
Hamamelis virginiana
Witch Hazel

TERRACE LEVEL - TREES

UNDERSTORY TREES

GROUND PLANE PLANTING





1 CAST-IN-PLACE CONCRETE PAVING



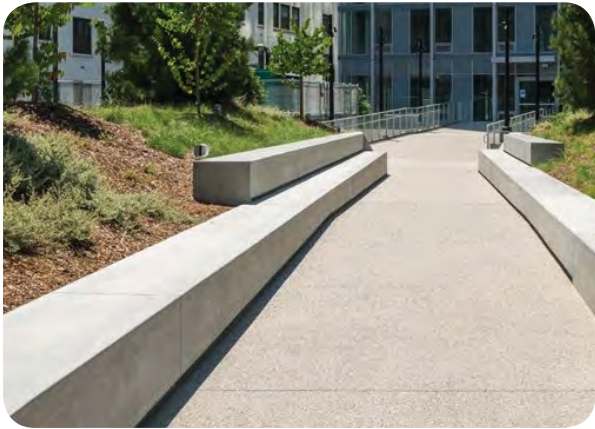
2 RESIN BONDED AGGREGATE



3 PERMEABLE PAVING

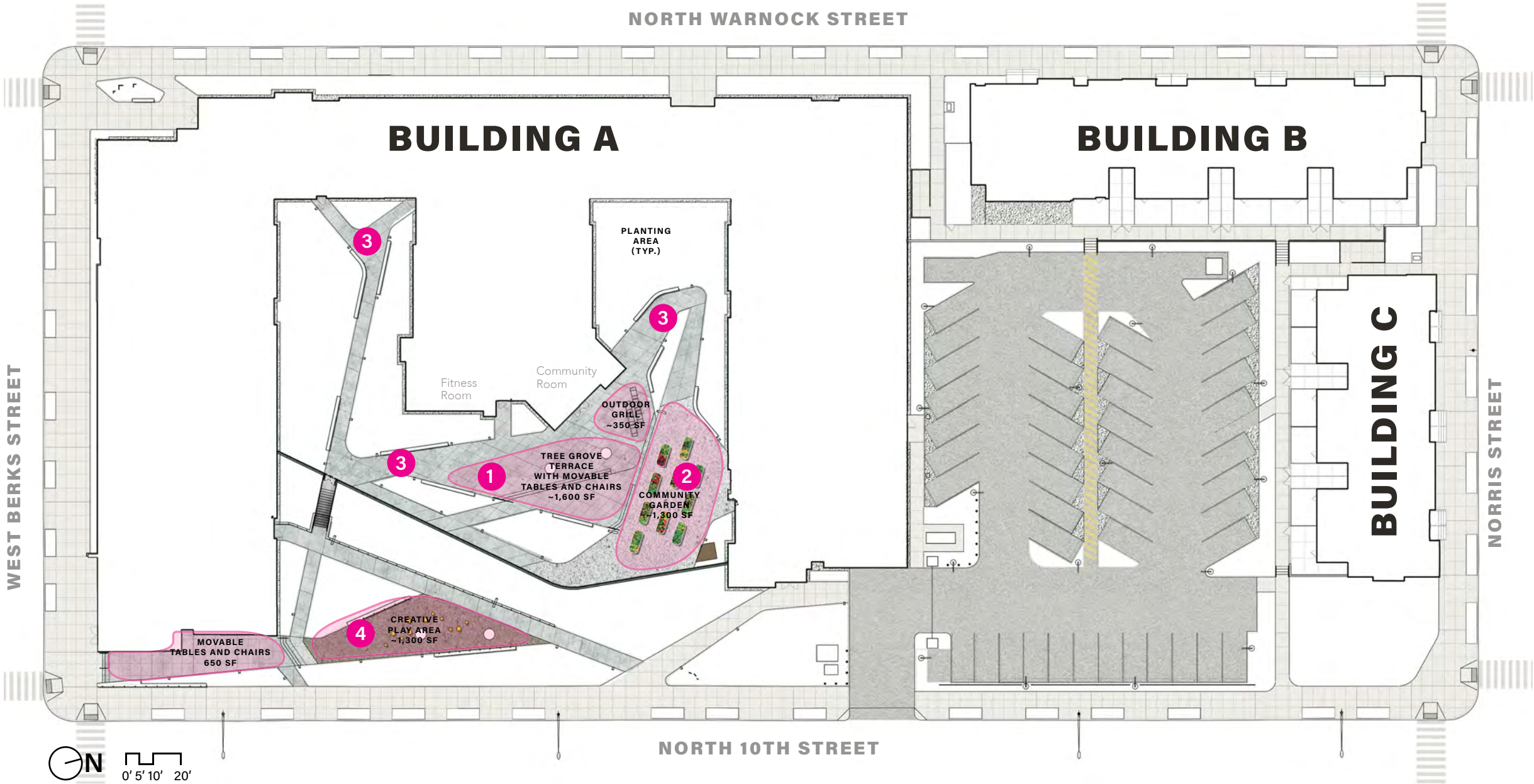


4 POROUS ASPHALT WITH SPECIAL PAINT



5 CAST-IN-PLACE CONCRETE SEAT WALL

HARDSCAPE MATERIAL PALETTE



1 TREE GROVE AT TERRACE



2 COMMUNITY GARDEN AT TERRACE



3 SEATING AT TERRACE



4 CREATIVE PLAY AT GROUND LEVEL



PROPOSED BUILDING A - TERRACE