

ADDRESS: 260 S 20TH ST

Proposal: Demolish rear ell; construct three-story rear addition

Review Requested: Review In Concept

Owner: Su Bin Jian and Bo Meng Lin

Applicant: Yao-Chang Huang, Sky Design Studio

History: 1860

Individual Designation: None

District Designation: Rittenhouse Fittler Historic District, Contributing, 2/8/1995

Staff Contact: Allyson Mehley, allyson.mehley@phila.gov, 215-686-7660

BACKGROUND:

The application proposes to demolish the building's rear ell and replace it with a new three-story addition. The existing, historic ell is three stories tall. Historic maps show that the 1860 building originally had a one-story rear wing (see Figure 1). The existing rear ell was added between 1860 and 1895 (see Figure 2).

SCOPE OF WORK

- Demolish existing three-story rear ell.
- Construct new three-story addition with rear roof deck on second floor and rear balcony on third floor.
- Interior renovations within main block; no work to front facade.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*
 - The demolition of the rear ell will result in the removal of distinctive materials and the alteration of features, spaces, and spatial relationships that characterize the property. The demolition of the rear ell will diminish the historic character of the property. The application does not demonstrate rear ell requires full demolition and cannot be rehabilitated.
- *Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
 - The construction of the rear addition will destroy the historic rear ell, which characterizes the property. The proposal will not protect the historic integrity of the property. The application does not demonstrate rear ell requires full demolition and cannot be rehabilitated.

STAFF RECOMMENDATION: Denial, pursuant to Standards 2 and 9.

Historic Maps

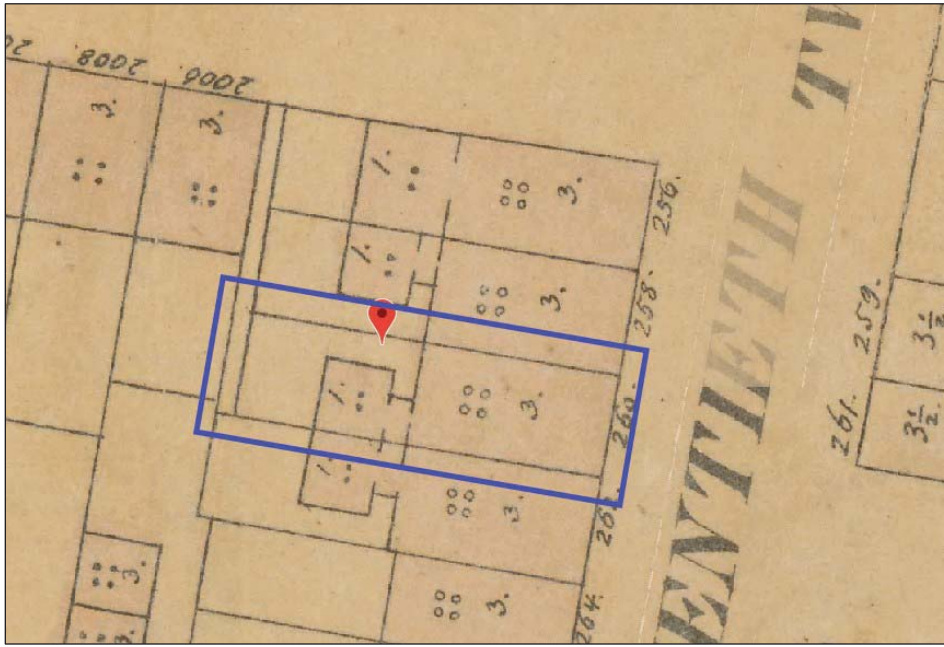


Figure 1: 1858-60 Philadelphia Atlas, Hexamer & Locher

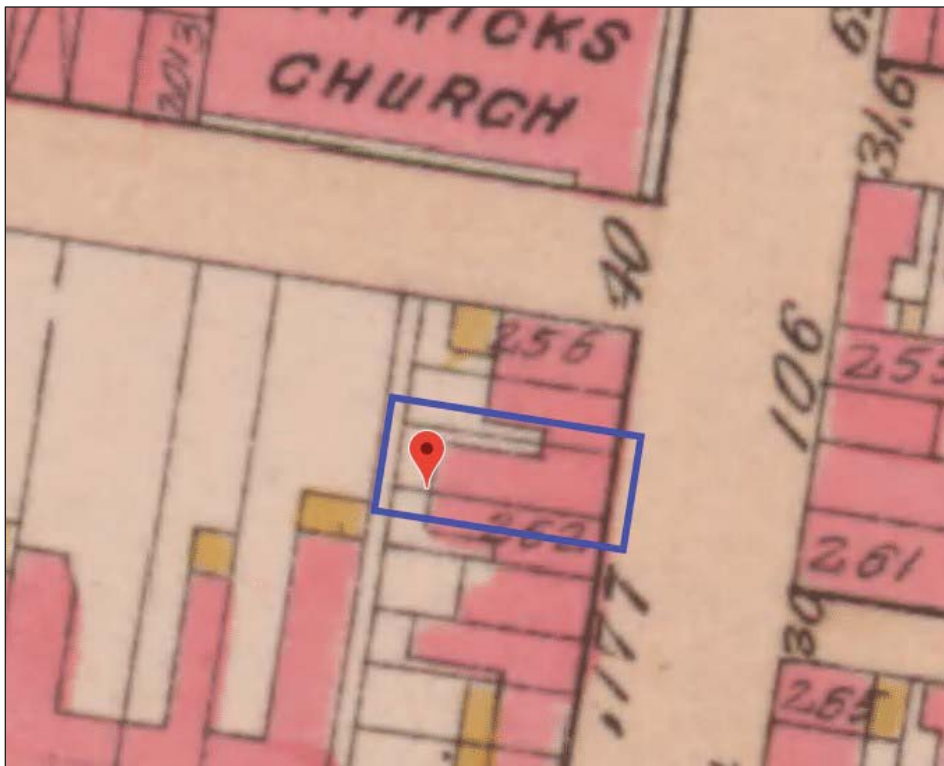


Figure 2: 1895 Philadelphia Atlas, G. W. Bromley

Project Address: 260 S 20th Street, Philadelphia, PA

Property Owner: Su Bin Jian; Bo Meng Lin
2425 S Hancock St. Philadelphia, PA

The owner would like to apply for in-concept approval for the following changes. We are proposing the following:

1. A (3) story rear addition for the use of (1) nail salon on 1st floor/cellar, One Apartment on 2nd floor w/ rear roof deck and (1) one apartment on 3rd floor w/ rear balcony.
2. The new (3) story addition will have a length of 30'-11 ¼" X 16'-7" width, 29'-3" Height and 2'-6" rear setback.
3. Scope of Work:
 - Existing front façade to remain.
 - Remove existing (1) One Story rear portion and replace with (3) Three Story addition with rear roof deck on 2nd floor and rear 3rd floor balcony.
 - New interior renovations on the existing (3) story front portion of building.

Additional comments on drawings:

1. Building elevation have been include on sheets A5 and A6. These elevations show the relationship between the new and existing building.
2. We have indicated on the elevation drawings the new exterior rear changes.
3. All windows sizes and locations have been verified in the field, and all plans and elevations have been revised to depict what is on site.
4. Perspective photos have been included in drawings A7 and A8 to indicate the proposed new construction addition area.
5. Notes identifying "no changes on the existing front façade" have been included on the drawings.

Shall you have any questions, please do not hesitate to contact me.

Sincerely,



Yao-Chang Huang, AIA

260 S. 20TH STREET

ZONING CLASSIFICATION: CMX-2 MIXED USE

PROPOSED USE: NAIL SALON ON FIRST FLOOR WITH EXISTING TWO APARTMENTS ON FLOORS ABOVE

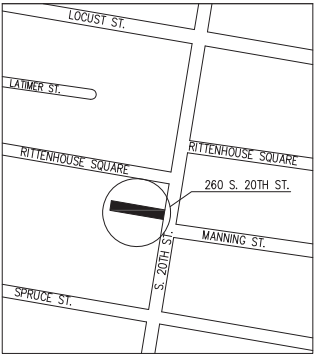
SCOPE OF WORK: REMOVE AND REPLACE REAR (1) ONE STORY ADDITION W/ROOF DECK @2ND FLOOR LEVEL, (3) STORY ADDITION (IN FORMER SIDE YARD/ LIGHT WELL) & INTERIOR RENOVATIONS THROUGHOUT

BUILDING CODE: CODE JURISDICTION:
2018 INTERNATIONAL BUILDING CODE
PHILADELPHIA PLUMBING CODE (2004 EDITION)
2017 INTERNATIONAL ELECTRICAL CODE
2018 INTERNATIONAL MECHANICAL CODE
2009 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL ENERGY CONSERV. CODE

ZONING DATA		
CMX-2 ZONING DISTRICT	REQUIRED	PROPOSED
MIN. LOT WIDTH	N/A	16'-7" (EXISTING)
MIN. LOT AREA	N/A	1,119 SF (EXISTING)
OCCUPIED AREA	75% MAX	1077.6 SF (96.3% SF)
OPEN AREA	25% MIN.	41.4 SF (3.7%)
FRONT YARD	NOT REQ'D	0'
SIDE YARD	5' MIN (IF USED)	NONE
REAR YARD DEPTH	9' MIN OR 10% OF DEPTH	2'-6"
HEIGHT	38' MAX	38'-0"
MIN. CORNICE HEIGHT	N/A	29'-3"
MAX. F.A.R.	N/A	366.04% (1,119 / 3,057 S.F.)

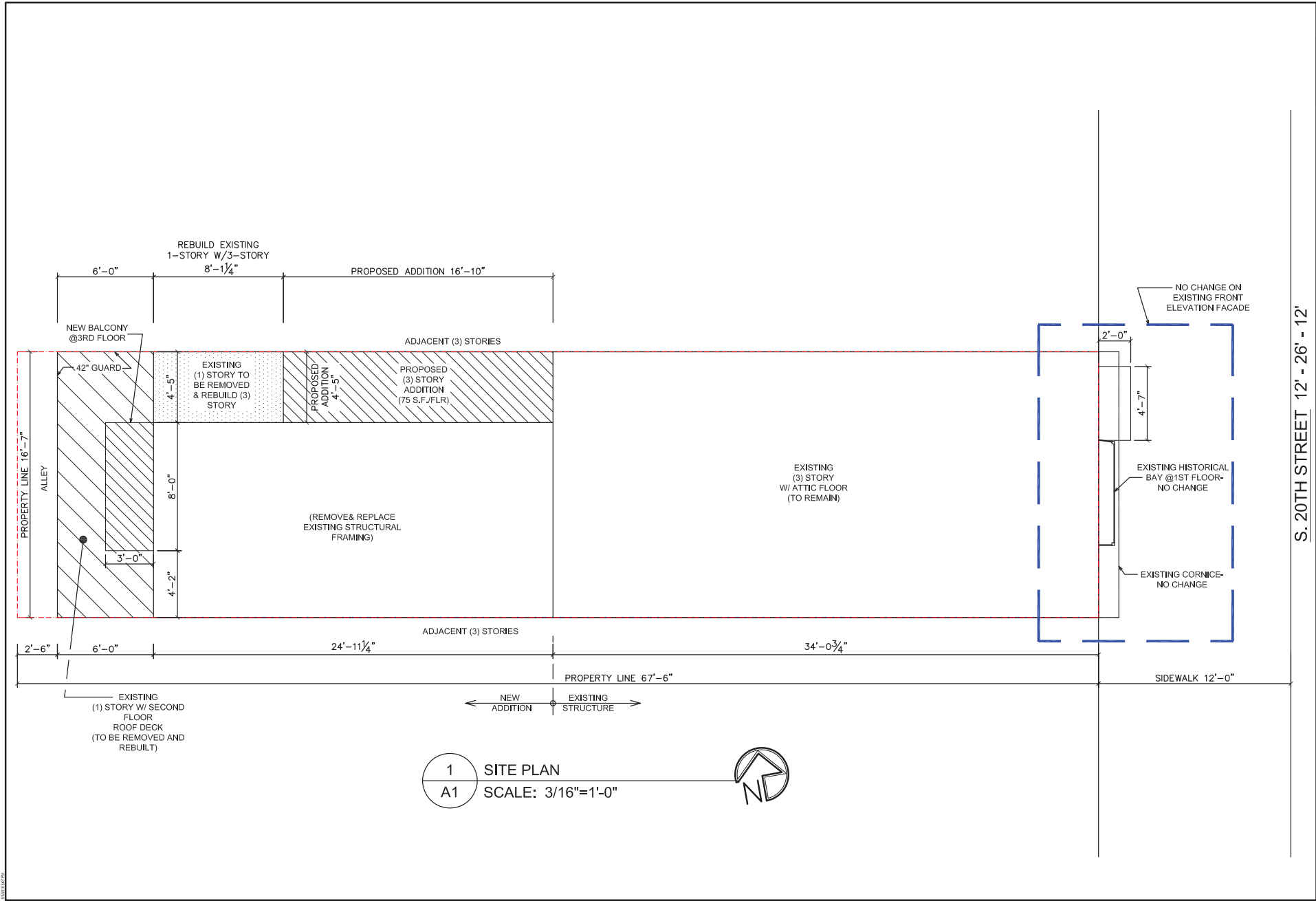
STREETS DATA				
STREET BREAKDOWN	SIDEWALK	CARTWAY	SIDEWALK	TOTAL
S. 20TH STREET	12'	26'	12'	50'-0"
ENCROACHMENT TYPE	PROPOSED	EXIST.		
STAIRS/STEPS	N/A	2'-0" x 4'-7"		
WINDOW WELLS	N/A	N/A		
CORNICE	N/A	1'-3" x 16'-7"		
BAYWINDOWS/BALCONIES	N/A	N/A		

BUILDING CALCULATIONS	
CELLAR GROSS AREA	978 SF
1ST FLOOR GROSS AREA	1,119 SF
2ND FLOOR GROSS AREA	978 SF
3RD FLOOR GROSS AREA	978 SF
TOTAL BLDG. GROSS AREA	3,075 SF (W/OUT CELLAR)



1 LOCATION PLAN
A0 SCALE: N.T.S.

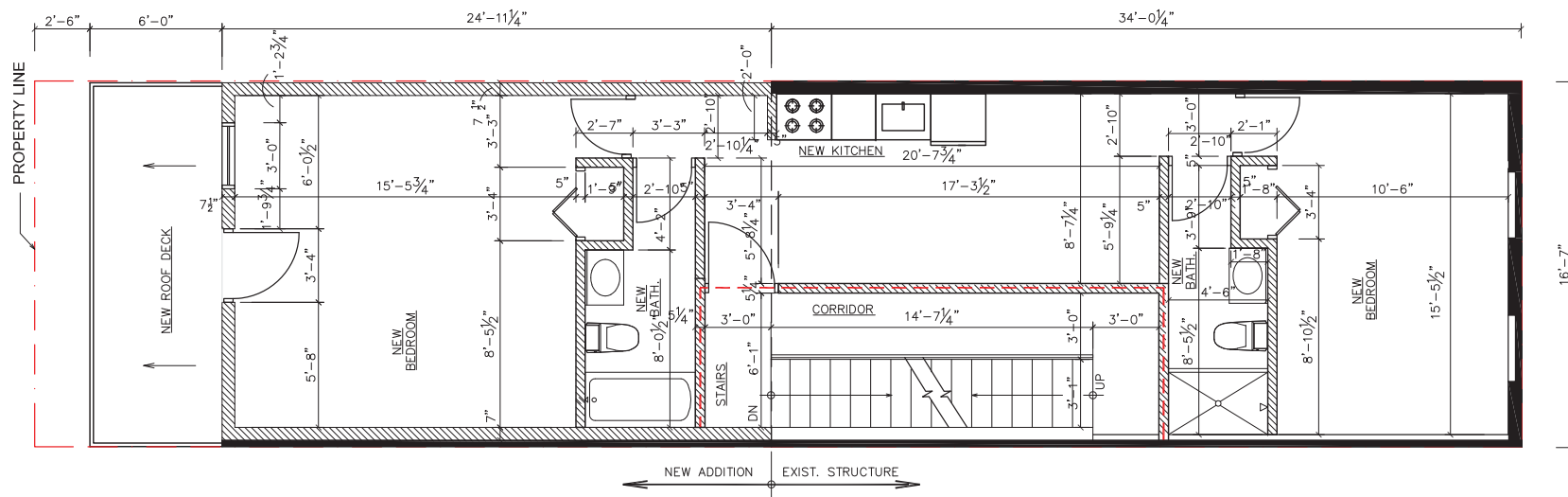
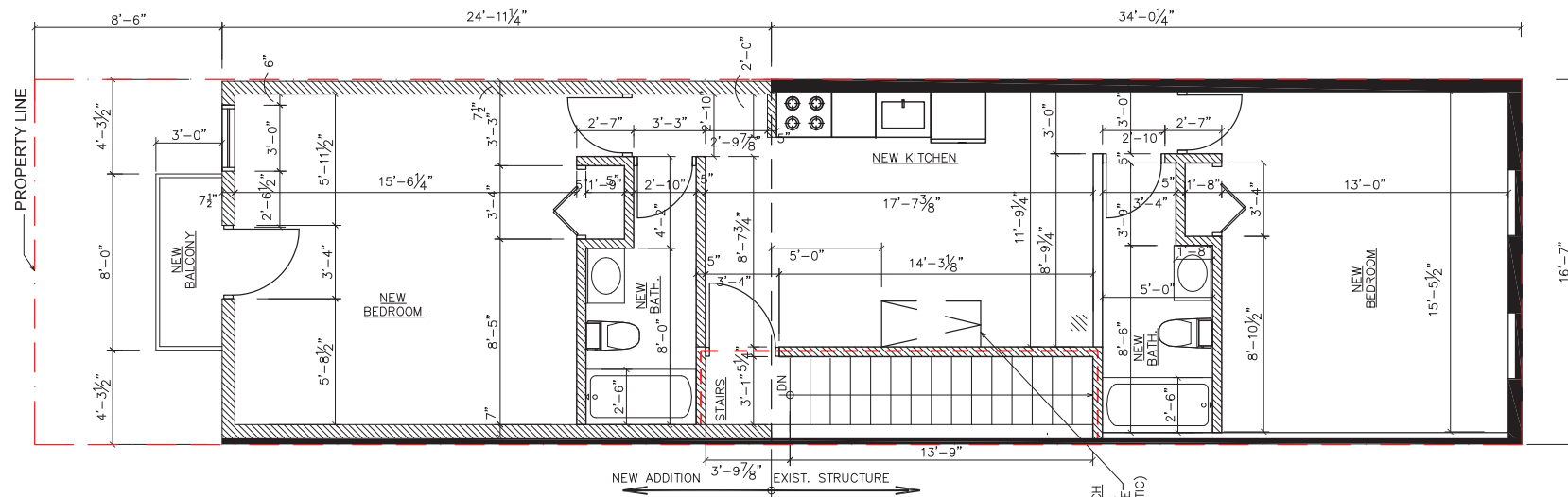




1 SITE PLAN
A1 SCALE: 3/16"=1'-0"







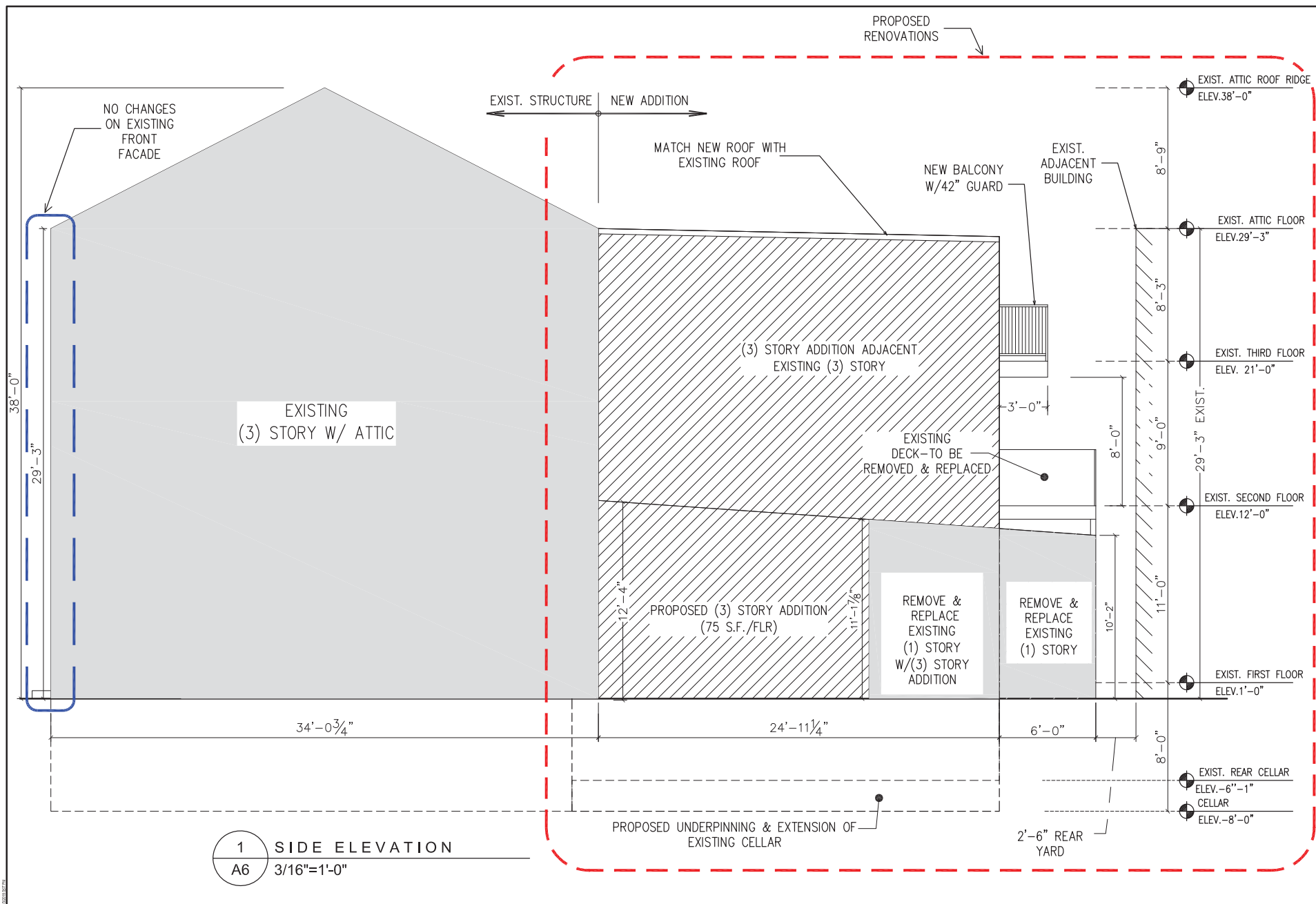
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1
A5



2
A5



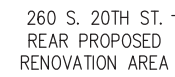
A photograph of a three-story red brick building with a white-painted ground floor. The ground floor features a white door on the left, a large display window with a decorative pediment, and a grey door on the right. A red patio umbrella and a black car are visible in the foreground.

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260 S. 20th St.
Philadelphia, P.A.

PHOTO 

A7



260 S. 20TH ST.
- REAR PROPOSED
RENOVATION AREA