

ADDRESS: 176 CONARROE ST

Proposal: Convert church to multi-family residence; rehabilitate rectory

Review Requested: Final Approval

Owner: American Living Concepts of Manayunk LLC

Applicant: Kelly Vresilovic, CaVA Architects

History: 1849; St. Mary's RC Church

Individual Designation: 8/12/2016

District Designation: None

Staff Contact: Meredith Keller, meredith.keller@phila.gov, 215-686-7660

BACKGROUND:

St. Mary of the Assumption Roman Catholic Church historically consisted of a church, adjacent rectory, burial ground, and parochial school, with the church standing as the oldest building, having been constructed in 1849. While the larger project includes the development of the entire St. Mary's complex and adjacent parking lots, the Historical Commission holds jurisdiction only over the church, rectory, and burial ground.

SCOPE OF WORK AT CHURCH:

- Install solar panel array at west slope of roof.
- Remove stained-glass lancet windows at east and west facades and replace with operable aluminum clad windows with painted aluminum trim and blue spandrel panel.
- Replace lower-level windows with aluminum-clad double-hung sash windows with painted metal trim.
- Create two new circular aluminum-clad windows at front façade.
- Restore existing door frames and stained-glass window at front façade.
- Install new paneled wood doors at front façade.
- Restore stained-glass transoms and alter to remove religious symbols.
- Replace circular front façade window and lancet louvers with painted aluminum window and louvers.
- Rebuild brick cornice to match existing where damaged.

SCOPE OF WORK AT RECTORY:

- Install solar panel array on flat portion of roof.
- Install new two-over-two aluminum-clad windows with extruded aluminum trim at front façade and two-over-two fiberglass windows with metal trim at rear.
- Install new doors.
- Remove non-original rear addition.
- Clean, repair, and repoint brick.
- Remove capping from wood lintels and sills and repaint.
- Repair and repaint cornice, bay, and dormers.

STANDARDS FOR REVIEW:

The Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines include:

- *Standard 2: The historic character of a property shall be retained and preserved. The removal of materials or alterations of features and spaces that characterize a property shall be avoided.*

The application largely proposes to restore the exterior envelopes of the church and rectory. However, the church's stained-glass windows are proposed to be replaced with operable aluminum-clad wood windows with spandrel panels to accommodate the

addition of an interior floor. While the replacement of windows does not comply with this standard, the staff finds that such a change is necessary for the reuse of the building.

- *Standard 6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

In addition to the replacement of the stained-glass windows, the application proposes to install new aluminum-clad wood windows with paintable extruded aluminum trim at the front façade of the rectory. The proposed windows would replicate the historic two-over-two double-hung sash windows in appearance. Provided the trim replicates the historic ogee molding in shape and dimension, the replacement of the windows complies with this standard. Other proposed work, such as the restoration of the stained-glass window and transom at the front façade, installation of new doors, and masonry and trim repair, complies with this standard.

- *Standard 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new works shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed solar panel arrays have an appropriate setback from the front façade of the church, and those proposed for the rectory would have no visibility from Conarroe Street; the proposed solar panel arrays comply with this standard.

STAFF RECOMMENDATION: Approval, with the staff to review details, pursuant to Standards 2, 6, and 9.

MAPS & IMAGES:

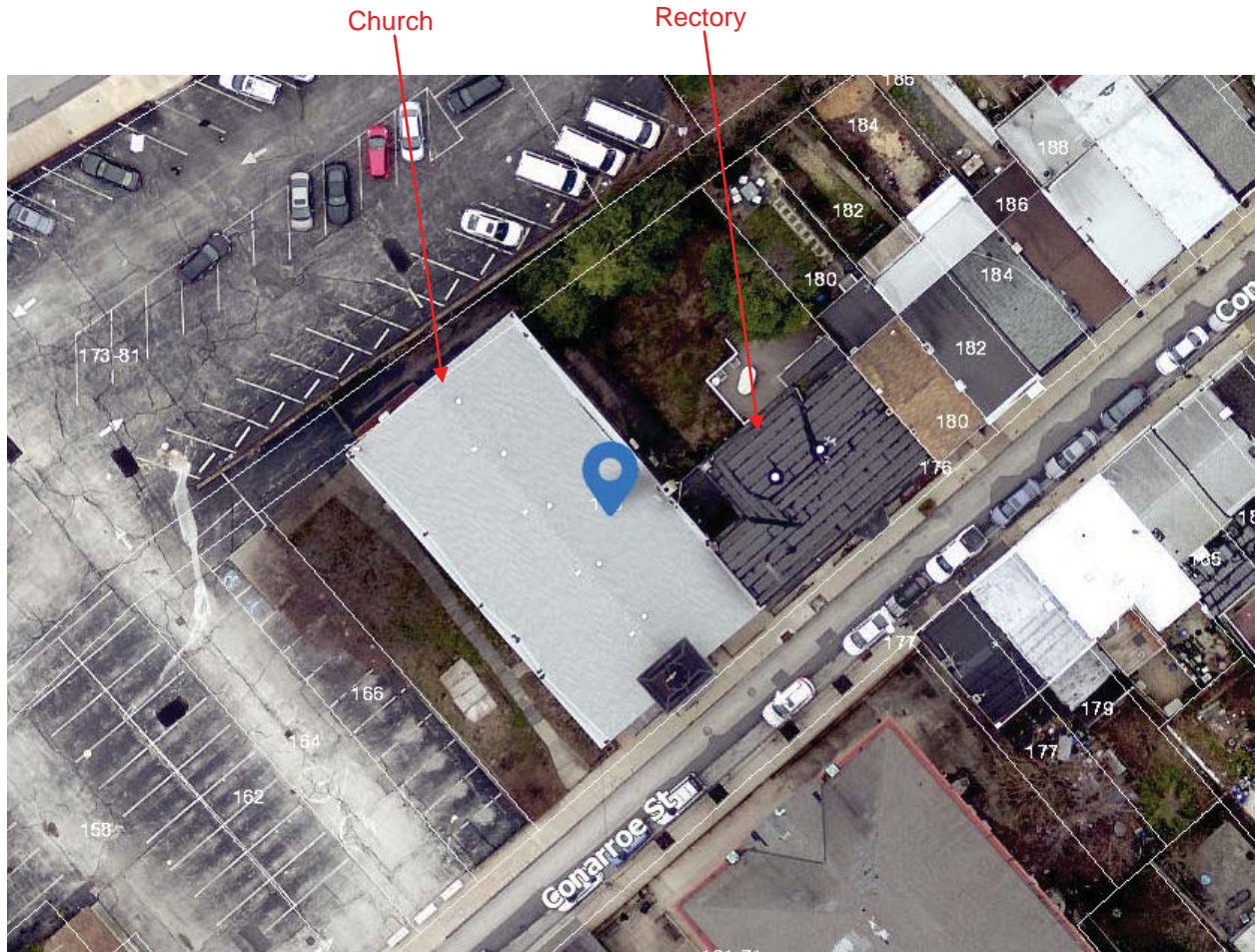


Figure 1: 2018 Parcel Map showing the church and rectory. The burial ground is adjacent to the church at left.

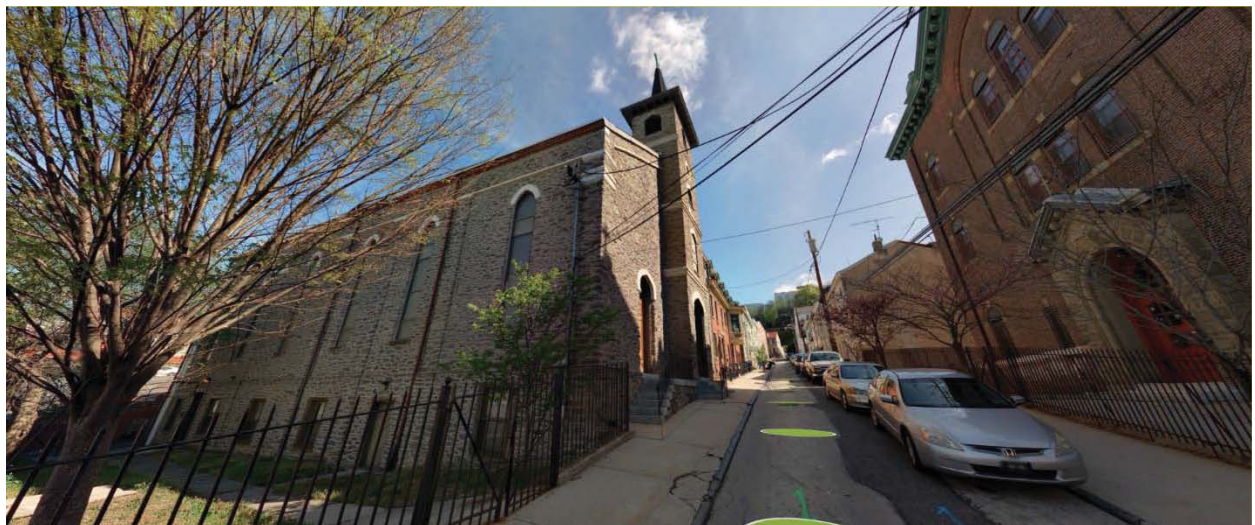


Figure 2: St. Mary's Roman Catholic Church, left, at 176 Conarroe Street, 2018. Source: Cyclomedia.

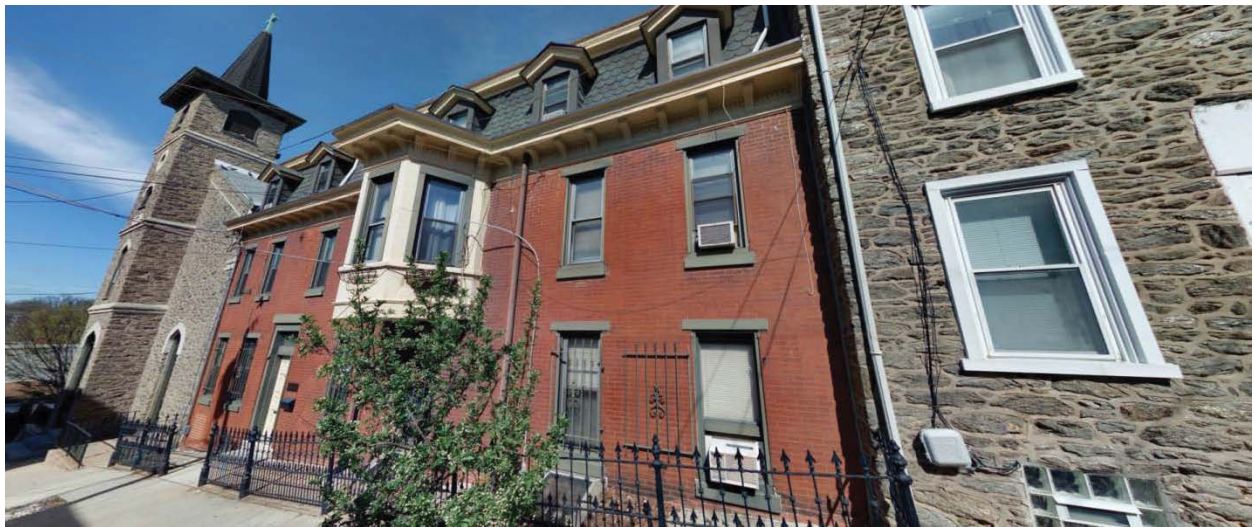


Figure 3: St. Mary's Roman Catholic Church and rectory, 2018. Source: Cyclomedia.

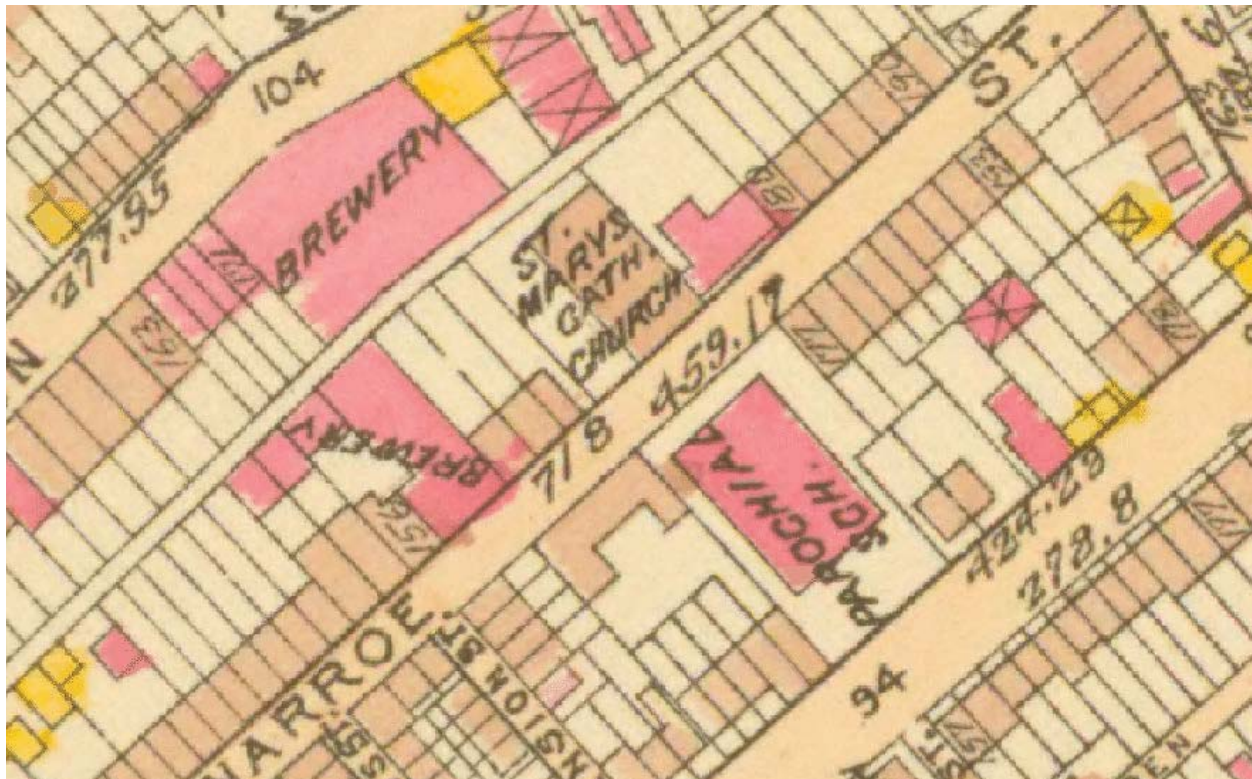


Figure 4: St. Mary's Roman Catholic Church, rectory, and parochial school across Conarro Street, 1910 G.W. Bromley Atlas. Source: PhilaGeoHistory.org.

APPLICATION FOR BUILDING PERMIT

APPLICATION # _____

(Please complete all information below and print clearly)



CITY OF PHILADELPHIA
DEPARTMENT OF LICENSES AND INSPECTIONS
MUNICIPAL SERVICES BUILDING - CONCOURSE
1401 JOHN F. KENNEDY BOULEVARD
PHILADELPHIA, PA 19102
For more information visit us at www.phila.gov

ADDRESS OF PROPOSED CONSTRUCTION**176 Conarroe Street, Philadelphia, PA 19127-1327****APPLICANT:**

Kelly Vresilovic, AIA

COMPANY NAME:

CaVA Architects, llp

PHONE # 215.732.8525

FAX #

PROPERTY OWNER'S NAME:

American Living Concepts of Manayunk, llc

PHONE # 215.464.0455

FAX #

ARCHITECT / ENGINEER IN RESPONSIBLE CHARGE:

Kelly Vresilovic, AIA

ARCHITECT / ENGINEERING FIRM:

CaVA Architects, llp

PHONE # 215.732.8525

FAX #

CONTRACTOR:

Champion Development Corporation

CONTRACTING COMPANY:

215.464.0455

PHONE #

FAX #

APPLICANT'S ADDRESS:

LICENSE #

E-MAIL:

PROPERTY OWNER'S ADDRESS:

828 Red Lion Road, Suite E-1

Philadelphia, PA 19115

ARCHITECT / ENGINEERING FIRM ADDRESS:

2118 Locust Street

Philadelphia, PA 19103

LICENSE # 701579

kvresilovic@cava21.com

E-MAIL:

CONTRACTING COMPANY ADDRESS:

828 Red Lion Road, Suite E-1

Philadelphia, PA 19115

LICENSE #

E-MAIL:

USE OF BUILDING / SPACE:

15 Residential Dwelling Units (8 in the Church & 7 in the Rectory)

ESTIMATED COST OF WORK

\$ 1,500,000.00

BRIEF DESCRIPTION OF WORK:

Complete renovation of historically designated 1849 St.Mary-of-the-Assumption Church and its adjoining 1871 Rectory into 15 residential dwelling units - eight in the Church and seven in the Rectory. The Church has a Wissahickon Schist Facade and is two stories. The existing lower level of the Church will be repurposed as the amenity center for the entire new complex. The main church floor level which was 25' feet high will have a new floor added at the 12' level and will be divided into 4 apartments on each level for a total of 8 new one or two bedroom residential dwelling units. The three story brick Rectory with mansard, was the primary residence for the priests. It will be maintained and divided into seven residential dwelling units. The windows in both the Church and Rectory will be replaced with new energy efficient units. The existing front doors of Church & Rectory will be replaced. The Church transoms will be modified. The Rectory transom and bay will remain. The existing exterior stone and masonry will be repaired and repointed on both facades as required. Both Buildings will receive all new HVAC systems and sprinklers.

TOTAL AREA UNDERGOING CONSTRUCTION: 15,540 (Church) + 7,760 (Rectory) for a Project total of 23,300 Gross square feet**COMPLETE THESE ITEMS IF APPLICABLE TO THIS APPLICATION:**

OF NEW SPRINKLER HEADS (suppression system permits only): _____ LOCATION OF SPRINKLERS: _____

OF NEW REGISTERS / DIFFUSERS (hvac / ductwork permits only): _____ LOCATION OF STANDPIPES: _____

IS THIS APPLICATION IN RESPONSE TO A VIOLATION? ☒ NO ☐ YES VIOLATION #: _____

All provisions of the building code and other City ordinances will be complied with, whether specified herein or not. Plans approved by the Department form a part of this application. I hereby certify that the statements contained herein are true and correct to the best of my knowledge and belief. I further certify that I am authorized by the owner to make the foregoing application, and that, before I accept my permit for which this application is made, the owner shall be made aware of all conditions of the permit. I understand that if I knowingly make any false statement herein I am subject to such penalties as may be prescribed by law or ordinance.

APPLICANT'S SIGNATURE

DATE: 06/11/19 /

PRE-REQUISITE APPROVALS FOR:

ADDRESS:

APPLICATION #:

√ IF REQ'D	AGENCY	INITIALS	DATE	REMARKS
	ART COMMISSION 13 TH FLOOR - 1515 ARCH STREET			
	CITY PLANNING COMMISSION 13TH FLOOR - 1515 ARCH STREET			
	HISTORICAL COMMISSION 13TH FLOOR – 1515 ARCH STREET			
	FAIRMOUNT PARK COMMISSION			
	<input type="checkbox"/> CITY <input type="checkbox"/> STATE AIR MANAGEMENT / HEALTH DEPARTMENT			
	STREETS DEPARTMENT ROOM 940 - M.S.B.			
	WATER DEPARTMENT 2ND FLOOR - 1101 MARKET STREET			
	EMERGENCY SERVICES & ABATEMENT UNIT ROOM 1140 - M.S.B.			
	ZONING			

WAS VIOLATION FOR WORK WITHOUT A PERMIT? ☐ NO ☐ YES (INSPECTION FEE MUST BE ADDED TO PERMIT FEE)

VIOLATION # _____

June 11, 2019

Philadelphia Historical Commission

1515 Arch Street, 13th Floor
Philadelphia, PA 19102

Re: Application for Final Approval for St. Mary's Renewal Project – Church and Rectory

Philadelphia Historic Commission:

CaVA Architects is requesting FINAL APPROVAL for the proposed renovations to St. Mary-of-the-Assumption Church and Rectory property, located at 176 Conarroe Street in Manayunk, into residential dwelling units. This work is a part of the overall campus redevelopment by American Living Concepts of Manayunk, LLC. The property was purchased in 2016 and was rezoned by the City of Philadelphia, on Nov. 21, 2018 as part of the St. Mary's Master Plan Overlay District, Ordinances #18101 and #18135 for a change in use for this property to 15 Dwelling Units within the existing structures; eight (8) in the Church and seven (7) in the Rectory. The Church and Rectory were designated in 2016. The adjacent School (1907), while not designated, is being restored to similar standards.

The entry façade of the Church and the west wall, and Rectory front are visible from Conarroe Street. The rear (north) and east wall of the church are not visible from the public way. The exterior facades will be restored as noted below:

Rectory Exterior Work

- The brick masonry will be cleaned, repaired and repointed (approximately 20%) to match the existing joints.
- All the existing Rectory windows are metal replacement windows with braked aluminum coil stock cladding covering heads, jamb, and sills. The existing windows and frames will be removed, and new, custom sized double hung clad wood windows with extruded aluminum painted trim, based on the Pella Architectural Reserve Series, will be installed at the Conarroe Street Elevation. New fiberglass windows and metal trim will be installed at the rear wall. All new windows will meet the IBC 2018 Energy Code.
- The original wood lintels and sub-sill will remain and will be repaired and repainted.
- The existing cornice, bay and dormers will remain and will be repaired and repainted.
- The original front doors of the house had been removed. A new pair of front doors based on the existing interior vestibule doors will be installed to return the main entrance to its original look.
- A later one-story addition at the rear of the Rectory that blocks an original Church window will be demolished and the exposed walls repaired (not visible from the public way).
- Solar panels will be added to the flat roof of the Rectory which will not be visible from the Public Way.

Church Exterior Work

- The existing masonry at the Church is in very good condition, with a few minor repairs required including some sections of the existing (mostly covered) brick cornice. Where the brick cornice is damaged it will be rebuilt to match the existing.

- The three original door frames are in place and will be repaired and repainted. New appropriate painted wood panel doors will be provided in the existing frames. The central stained glass-window the the tower will be restored including the stained glass (existing storm panel will be removed). The three stained-glass transoms will remain although altered to remove religious symbols.
- The circular tower window and lancet opening louvers will be replaced with painted aluminum sections with profiles to match the existing.
- New openings, with windows matching the round tower window, will be added above the side doors to provide light to the front apartments.
- The original tall, side stained-glass lancet windows will be replaced with custom operable clad wood windows with painted aluminum trim, based on the Pella Architectural Reserve Series, that meet the IBC 2018 Energy Code. The glass will be clear with a blue glass spandrel unit at the floor line that matches the decorative blue from the original stained-glass windows.
- Lower level widows at the side walls of the church will be replaced with custom sized double hung clad wood windows with painted metal trim based on the Pella Architectural Reserve Series.
- The original cross at the top of the bell tower will be removed and replaced with a new copper cap.
- A new solar panel array will be added to the west slope roof of the Church. The panels will be minimally visible from the public way once the townhouses are constructed.

Please let us know if you need any additional document or have any questions. Thank you,

KELLY VRESILOVIC, AIA

Kelly Vresilovic, AIA, LEED AP
Partner

encl: Building Permit Application Form
8 half-sized sets (11" x17") of the Architectural Drawings & Photographs, dated 6/11/19
PDF of Full Submission on thumb drive

HISTORIC ST. MARY'S CHURCH & RECTORY

2019 RENEWAL PROJECT

176 CONARROE STREET, MANAYUNK, PHILADELPHIA PA 19127

CHURCH - LOWER LEVEL, FIRST & SECOND FLOORS

RECTORY - LOWER LEVEL, FIRST, SECOND & THIRD FLOORS

GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED AT THE SITE BY THE CONTRACTOR PRIOR TO STARTING ANY WORK.

HOLD INDICATED DIMENSIONS DO NOT SCALE DRAWINGS. RESOLVE ANY DISCREPANCIES WITH THE ARCHITECT BEFORE BEGINNING WORK.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS TO COORDINATE THE WORK AND VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR WORK BY ALL TRADES BEFORE PROCEEDING WITH ANY WORK. UNACCEPTABLE OR INCORRECT PRIOR WORK SHALL BE REPAIRED OR REPLACED BEFORE STARTING WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.

ALL EXISTING CONSTRUCTION AND LANDSCAPE FEATURES THAT ARE TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER, WITH MATERIALS EQUIVALENT OR SUPERIOR TO THE ORIGINAL (TENDS).

THE EXISTING CONDITION INFORMATION INDICATED IN THE CONTRACT DOCUMENTS IS BASED ON A SURVEY PREPARED BY A CONSULTANT TO THE OWNER. THIS INFORMATION IS NOT GUARANTEED AS TO COMPLETENESS OR ACCURACY. CONTRACTORS SHALL BE OBLIGATED AS A MATTER OF COURSE TO VERIFY, BY FIELD MEASUREMENTS, EXISTING CONDITIONS IN THE FIELD. THE EXISTING BUILDING INFORMATION INDICATED IN THE CONTRACT DOCUMENTS IS BASED ON EXISTING BUILDING CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER. THIS INFORMATION IS NOT GUARANTEED AS TO COMPLETENESS OR ACCURACY. THE GENERAL CONTRACTOR SHALL BE OBLIGATED AS A MATTER OF COURSE TO VERIFY, BY FIELD MEASUREMENT, ALL INFORMATION ON THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES INDICATED ON THE DRAWINGS ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR BEFORE STARTING THE WORK.

GRADING AND PAVING ADJACENT TO THE PERIMETER OF THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM OF 1/4 INCH PER FOOT U.O.N.

ALL ELECTRICAL, OUTLETS, COMPUTER AND TELEPHONE OUTLETS/ADAPTERS, SWITCHES, PULL STATIONS, THERMOSTATS, EXIST LIGHTS, AND ALL OTHER WALL MOUNTED ACCESSORIES SHALL BE ALIGNED VERTICALLY OR HORIZONTALLY WHEN IN CLOSE PROXIMITY. COORDINATION OF THIS ALIGNMENT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR PRIOR TO INSTALLATION. LOCATIONS SHALL BE APPROVED BY THE ARCHITECT.

PROVIDE WOOD OR METAL BLOCKING AT PARTITIONS, CEILING, AND WALLS FOR ALL MOUNTED ACCESSORIES AS REQUIRED.

PLACING OF ACCESS DOORS IN GYPSUM BOARD CEILING UNLESS SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL NOT BE ACCEPTED. LOCATE AND INSTALL ALL WORK AS REQUIRED TO PRECLUDE THE NEED FOR ACCESS THROUGH THE CEILING. COORDINATION OF THIS REQUIREMENT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE ORGANIZATION OF THE CONTRACT DOCUMENTS SHALL NOT CONTRA. THE CONTRACTOR IN DIVING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF THE WORK TO BE PERFORMED BY ANY TRADE.

FINISH NOTES

1. PARTITIONS ARE DIMENSIONED FROM FINISHED FLOOR, U.O.N.

2. DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, U.O.N.

3. DIMENSIONED SHOWN AS "N/A" SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR BY LAMING OUT THE PARTITIONS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.

4. CONTRACTOR TO DISBURSE SUE DELIVERY & INSTALLATION OF UNLAKED OR COMPROMISED CASEWORK & FINISHED CARPETING DAMAGED DURING CONSTRUCTION OR INSTALLATION SHALL BE REPLACED AT NO COST TO THE OWNER.

5. ALL CODE REQUIRED LABELS SUCH AS "EXIT", FACTORY MUTUAL, OR EQUIPMENT TO BE ON PERFORMANCE RATING, NAME OR NOMINATELATIVE SHALL REMAIN IN PLACE & VISIBLE. DO NOT PAINT OR REMOVE LABELS.

6. UON PROVIDE MINIMUM 3-COAT PAINT SYSTEMS AS SPECIFIED FOR EACH SUBSTRATE. REFER TO FINISH COLOR SCHEDULES FOR COLORS AND SHEENS.

7. TRANSPARENT FINISHED WOOD DOORS, ARCHITECTURAL WOODWORK, AND CABINETRY SHALL BE SHOP FINISHED.

8. PLACING OF ACCESS DOORS IN HARD SURFACE CEILING OR WALLS SHALL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE ARCHITECT.

ABBREVIATIONS

AB	As Built	AT	As Treated
AD	As Designed	BS	Brickwork
AE	As Erected	BS	Brickwork
AG	As Gravel	BS	Brickwork
AL	As Laid	BS	Brickwork
AM	As Made	BS	Brickwork
AN	As Noted	BS	Brickwork
AO	As Ordered	BS	Brickwork
AP	As Proposed	BS	Brickwork
AR	As Required	BS	Brickwork
AS	As Shown	BS	Brickwork
AT	As Treated	BS	Brickwork
AV	As Valued	BS	Brickwork
AW	As Warranted	BS	Brickwork
AX	As X-rayed	BS	Brickwork
AY	As Y-rayed	BS	Brickwork
AZ	As Z-rayed	BS	Brickwork
BA	As Banded	BS	Brickwork
BB	As Banded	BS	Brickwork
BC	As Banded	BS	Brickwork
BD	As Banded	BS	Brickwork
BE	As Banded	BS	Brickwork
BF	As Banded	BS	Brickwork
BG	As Banded	BS	Brickwork
BH	As Banded	BS	Brickwork
BI	As Banded	BS	Brickwork
BJ	As Banded	BS	Brickwork
BK	As Banded	BS	Brickwork
BL	As Banded	BS	Brickwork
BM	As Banded	BS	Brickwork
BN	As Banded	BS	Brickwork
BO	As Banded	BS	Brickwork
BP	As Banded	BS	Brickwork
BQ	As Banded	BS	Brickwork
BR	As Banded	BS	Brickwork
BS	As Banded	BS	Brickwork
BT	As Banded	BS	Brickwork
BU	As Banded	BS	Brickwork
BV	As Banded	BS	Brickwork
BW	As Banded	BS	Brickwork
BX	As Banded	BS	Brickwork
BY	As Banded	BS	Brickwork
BZ	As Banded	BS	Brickwork
CA	As Constructed	BS	Brickwork
CB	As Constructed	BS	Brickwork
CC	As Constructed	BS	Brickwork
CD	As Constructed	BS	Brickwork
CE	As Constructed	BS	Brickwork
CF	As Constructed	BS	Brickwork
CG	As Constructed	BS	Brickwork
CH	As Constructed	BS	Brickwork
CI	As Constructed	BS	Brickwork
CJ	As Constructed	BS	Brickwork
CK	As Constructed	BS	Brickwork
CL	As Constructed	BS	Brickwork
CM	As Constructed	BS	Brickwork
CN	As Constructed	BS	Brickwork
CO	As Constructed	BS	Brickwork
CP	As Constructed	BS	Brickwork
CQ	As Constructed	BS	Brickwork
CR	As Constructed	BS	Brickwork
CS	As Constructed	BS	Brickwork
CT	As Constructed	BS	Brickwork
CU	As Constructed	BS	Brickwork
CV	As Constructed	BS	Brickwork
CW	As Constructed	BS	Brickwork
CX	As Constructed	BS	Brickwork
CY	As Constructed	BS	Brickwork
CZ	As Constructed	BS	Brickwork
DA	As Constructed	BS	Brickwork
DB	As Constructed	BS	Brickwork
DC	As Constructed	BS	Brickwork
DD	As Constructed	BS	Brickwork
DE	As Constructed	BS	Brickwork
DF	As Constructed	BS	Brickwork
DG	As Constructed	BS	Brickwork
DH	As Constructed	BS	Brickwork
DI	As Constructed	BS	Brickwork
DJ	As Constructed	BS	Brickwork
DK	As Constructed	BS	Brickwork
DL	As Constructed	BS	Brickwork
DM	As Constructed	BS	Brickwork
DN	As Constructed	BS	Brickwork
DO	As Constructed	BS	Brickwork
DP	As Constructed	BS	Brickwork
DQ	As Constructed	BS	Brickwork
DR	As Constructed	BS	Brickwork
DS	As Constructed	BS	Brickwork
DT	As Constructed	BS	Brickwork
DU	As Constructed	BS	Brickwork
DV	As Constructed	BS	Brickwork
DW	As Constructed	BS	Brickwork
DX	As Constructed	BS	Brickwork
DY	As Constructed	BS	Brickwork
DZ	As Constructed	BS	Brickwork
EA	As Constructed	BS	Brickwork
EB	As Constructed	BS	Brickwork
EC	As Constructed	BS	Brickwork
ED	As Constructed	BS	Brickwork
EE	As Constructed	BS	Brickwork
EF	As Constructed	BS	Brickwork
EG	As Constructed	BS	Brickwork
EH	As Constructed	BS	Brickwork
EI	As Constructed	BS	Brickwork
EJ	As Constructed	BS	Brickwork
EK	As Constructed	BS	Brickwork
EL	As Constructed	BS	Brickwork
EM	As Constructed	BS	Brickwork
EN	As Constructed	BS	Brickwork
EO	As Constructed	BS	Brickwork
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EQ	As Constructed	BS	Brickwork
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ES	As Constructed	BS	Brickwork
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EU	As Constructed	BS	Brickwork
EV	As Constructed	BS	Brickwork
EW	As Constructed	BS	Brickwork
EX	As Constructed	BS	Brickwork
EY	As Constructed	BS	Brickwork
EZ	As Constructed	BS	Brickwork
FA	As Constructed	BS	Brickwork
FB	As Constructed	BS	Brickwork
FC	As Constructed	BS	Brickwork
FD	As Constructed	BS	Brickwork
FE	As Constructed	BS	Brickwork
FF	As Constructed	BS	Brickwork
FG	As Constructed	BS	Brickwork
FH	As Constructed	BS	Brickwork
FI	As Constructed	BS	Brickwork
FJ	As Constructed	BS	Brickwork
FK	As Constructed	BS	Brickwork
FL	As Constructed	BS	Brickwork
FM	As Constructed	BS	Brickwork
FN	As Constructed	BS	Brickwork
FO	As Constructed	BS	Brickwork
FP	As Constructed	BS	Brickwork
FQ	As Constructed	BS	Brickwork
FR	As Constructed	BS	Brickwork
FS	As Constructed	BS	Brickwork
FT	As Constructed	BS	Brickwork
FU	As Constructed	BS	Brickwork
FV	As Constructed	BS	Brickwork
FW	As Constructed	BS	Brickwork
FX	As Constructed	BS	Brickwork
FY	As Constructed	BS	Brickwork
FZ	As Constructed	BS	Brickwork
GA	As Constructed	BS	Brickwork
GB	As Constructed	BS	Brickwork
GC	As Constructed	BS	Brickwork
GD	As Constructed	BS	Brickwork
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GL	As Constructed	BS	Brickwork
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GN	As Constructed	BS	Brickwork
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GP	As Constructed	BS	Brickwork
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GT	As Constructed	BS	Brickwork
GU	As Constructed	BS	Brickwork
GV	As Constructed	BS	Brickwork
GW	As Constructed	BS	Brickwork
GX	As Constructed	BS	Brickwork
GY	As Constructed	BS	Brickwork
GZ	As Constructed	BS	Brickwork
HA	As Constructed	BS	Brickwork
HB	As Constructed	BS	Brickwork
HC	As Constructed	BS	Brickwork
HD	As Constructed	BS	Brickwork
HE	As Constructed	BS	Brickwork
HF	As Constructed	BS	Brickwork
HG	As Constructed	BS	Brickwork
HH	As Constructed	BS	Brickwork
HI	As Constructed	BS	Brickwork
HJ	As Constructed	BS	Brickwork
HK	As Constructed	BS	Brickwork
HL	As Constructed	BS	Brickwork
HM	As Constructed	BS	Brickwork
HN	As Constructed	BS	Brickwork
HO	As Constructed	BS	Brickwork
HP	As Constructed	BS	Brickwork
HQ	As Constructed	BS	Brickwork
HR	As Constructed	BS	Brickwork
HS	As Constructed	BS	Brickwork
HT	As Constructed	BS	Brickwork
HU	As Constructed	BS	Brickwork
HV	As Constructed	BS	Brickwork
HW	As Constructed	BS	Brickwork
HX	As Constructed	BS	Brickwork
HY	As Constructed	BS	Brickwork
HZ	As Constructed	BS	Brickwork
IA	As Constructed	BS	Brickwork
IB	As Constructed	BS	Brickwork
IC	As Constructed	BS	Brickwork
ID	As Constructed	BS	Brickwork
IE	As Constructed	BS	Brickwork
IF	As Constructed	BS	Brickwork
IG	As Constructed	BS	Brickwork
IH	As Constructed	BS	Brickwork
II	As Constructed	BS	Brickwork
IJ	As Constructed	BS	Brickwork
IK	As Constructed	BS	Brickwork
IL	As Constructed	BS	Brickwork
IM	As Constructed	BS	Brickwork
IN	As Constructed	BS	Brickwork
IO	As Constructed	BS	Brickwork
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PF	As Constructed	BS	Brickwork
PG	As Constructed	BS	Brickwork

CONSULTANTS

BHG Consulting, Inc.
Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
215.755.9318

Castell Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
610.337.3360

Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
Collegeville, PA 19426
Tel: 610.489.4580

Ambric Technology Corporation
Consulting Engineers and Surveyors
100 Pine Street
Columbiana, PA 19023
215.928.8930

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No.	DATE	REVISION

PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

OWNER:
AMERICAN LIVING CONCEPTS
OF MANAYUNK
828 RED LION RD. SUITE E-1
PHILADELPHIA, PA 19115
215.464.0455

ST MARY'S SITE AXONOMETRIC

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No.	C1805
	SCALE:	@ 22 x 34
	ISSUED:	06/11/19
	G 002	

SCOPE OF WORK:

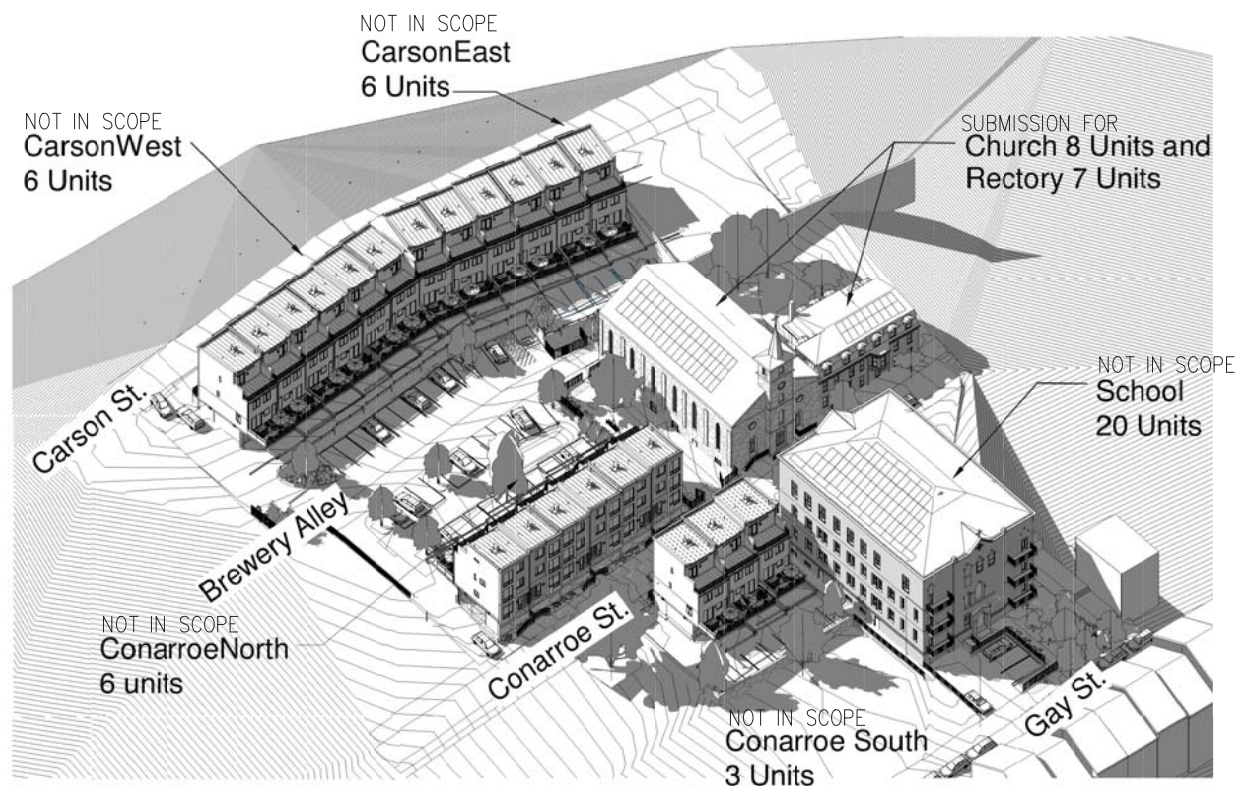
RECTORY EXTERIOR WORK

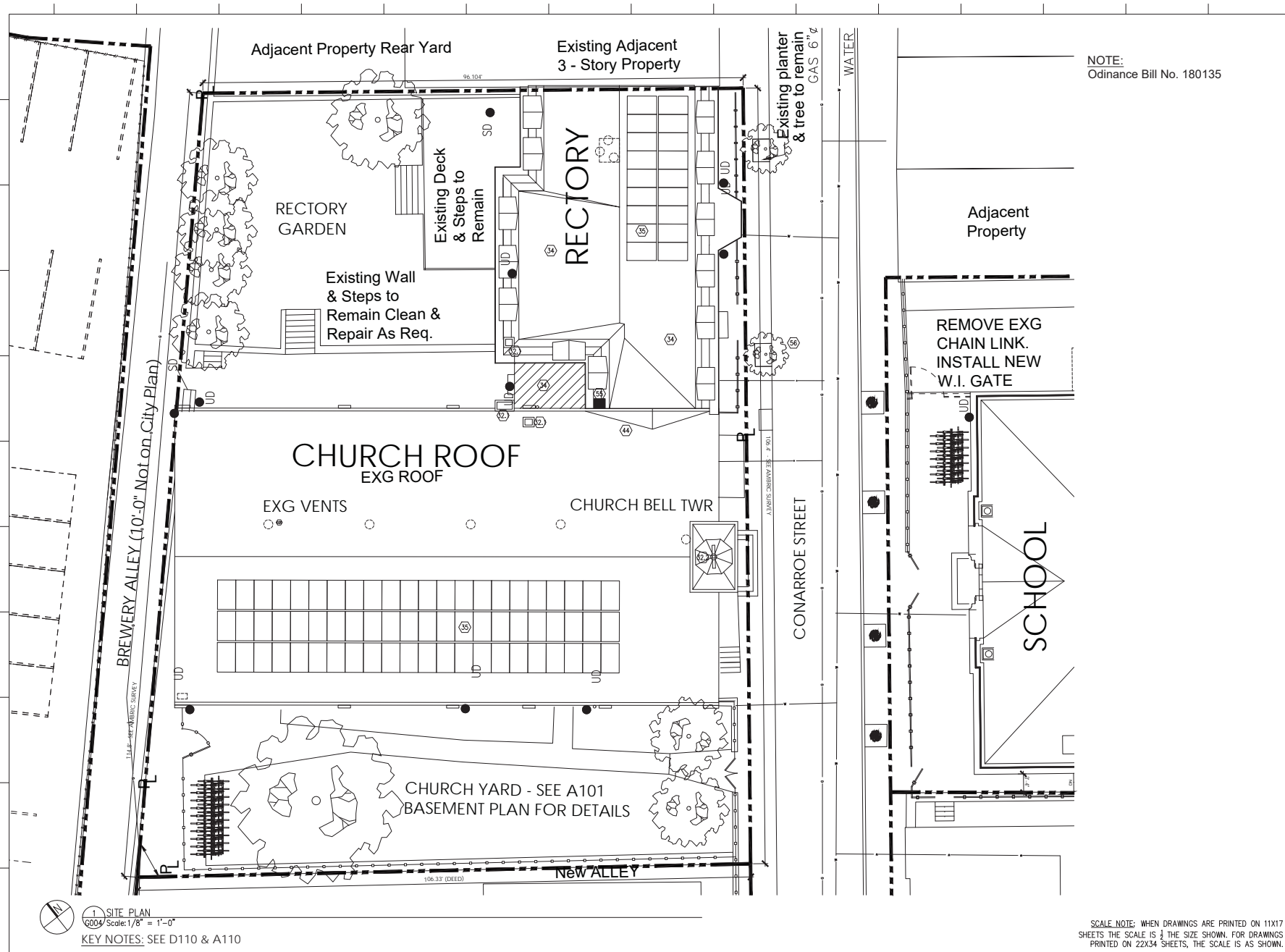
- THE BRICK MASONRY WILL BE CLEANED, REPAIRED AND REPOINTED (APPROXIMATELY 20%) TO MATCH THE EXISTING JOINTS.
- ALL THE EXISTING RECTORY WINDOWS ARE METAL REPLACEMENT WINDOWS WITH BRAKED ALUMINUM COIL STOCK CLADDING COVERING HEADS, JAMB, AND SILLS. THE EXISTING WINDOWS AND FRAMES WILL BE REMOVED, AND NEW, CUSTOM SIZED DOUBLE HUNG CLAD WOOD WINDOWS WITH EXTRUDED ALUMINUM PAINTED TRIM, BASED ON THE PELLA ARCHITECTURAL RESERVE SERIES, WILL BE INSTALLED AT THE CONARROE STREET ELEVATION. NEW FIBERGLASS WINDOWS AND METAL TRIM WILL BE INSTALLED AT THE REAR WALL. ALL NEW WINDOWS WILL MEET THE IBC 2018 ENERGY CODE. THE ORIGINAL WOOD LINTELS AND SUB-SILL WILL REMAIN AND WILL BE REPAIRED AND REPOINTED.
- THE EXISTING CORNICE, BAY AND DORMERS WILL REMAIN AND WILL BE REPAIRED AND REPOINTED.
- THE ORIGINAL FRONT DOORS OF THE HOUSE HAD BEEN REMOVED. A NEW PAIR OF FRONT DOORS BASED ON THE EXISTING INTERIOR VESTIBULE DOORS WILL BE INSTALLED TO RETURN THE MAIN ENTRANCE TO ITS ORIGINAL LOOK. A LATER ONE-STORY ADDITION AT THE REAR OF THE RECTORY THAT BLOCKS AN ORIGINAL CHURCH WINDOW WILL BE DEMOLISHED AND THE EXPOSED WALLS REPAIRED (NOT VISIBLE FROM THE PUBLIC WAY).
- SOLAR PANELS WILL BE ADDED TO THE FLAT ROOF OF THE RECTORY WHICH WILL NOT BE VISIBLE FROM THE PUBLIC WAY.

CHURCH EXTERIOR WORK

- THE EXISTING MASONRY AT THE CHURCH IS IN VERY GOOD CONDITION, WITH A FEW MINOR REPAIRS REQUIRED INCLUDING SOME SECTIONS OF THE EXISTING (MOSTLY COVERED) BRICK CORNICE. WHERE THE BRICK CORNICE IS DAMAGED IT WILL BE REBUILT TO MATCH THE EXISTING.
- THE THREE ORIGINAL DOOR FRAMES ARE IN PLACE AND WILL BE REPAIRED AND REPOINTED. NEW APPROPRIATE PAINTED WOOD PANEL DOORS WILL BE PROVIDED IN THE EXISTING FRAMES. THE CENTRAL STAINED GLASS-WINDOW THE TOWER WILL BE RESTORED INCLUDING THE STAINED GLASS (EXISTING STORM PANEL WILL BE REMOVED). THE THREE STAINED-GLASS TRANSOMS WILL REMAIN ALTHOUGH ALTERED TO REMOVE RELIGIOUS SYMBOLS.
- THE CIRCULAR TOWER WINDOW AND LANCET OPENING LOUVERS WILL BE REPLACED WITH PAINTED ALUMINUM SECTIONS WITH PROFILES TO MATCH THE EXISTING.
- NEW OPENINGS, WITH WINDOWS MATCHING THE ROUND TOWER WINDOW, WILL BE ADDED ABOVE THE SIDE DOORS TO PROVIDE LIGHT TO THE FRONT APARTMENTS.
- THE ORIGINAL TALL, SIDE STAINED-GLASS LANCET WINDOWS WILL BE REPLACED WITH CUSTOM OPERABLE CLAD WOOD WINDOWS WITH PAINTED ALUMINUM TRIM, BASED ON THE PELLA ARCHITECTURAL RESERVE SERIES, THAT MEET THE IBC 2018 ENERGY CODE. THE GLASS WILL BE CLEAR WITH A BLUE GLASS SPANDREL UNIT AT THE FLOOR LINE THAT MATCHES THE DECORATIVE BLUE FROM THE ORIGINAL STAINED-GLASS WINDOWS.
- LOWER LEVEL WINDOWS AT THE SIDE WALLS OF THE CHURCH WILL BE REPLACED WITH CUSTOM SIZED DOUBLE HUNG CLAD WOOD WINDOWS WITH PAINTED METAL TRIM BASED ON THE PELLA ARCHITECTURAL RESERVE SERIES.
- THE ORIGINAL CROSS AT THE TOP OF THE BELL TOWER WILL BE REMOVED AND REPLACED WITH A NEW COPPER CAP. A NEW SOLAR PANEL ARRAY WILL BE ADDED TO THE WEST SLOPE ROOF OF THE CHURCH. THE PANELS WILL BE MINIMALLY VISIBLE FROM THE PUBLIC WAY ONCE THE TOWNHOUSES ARE CONSTRUCTED.

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" = 1' THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.





NOTE:
Ordinance Bill No. 180135

CaVA
Architects, llp

2118 Locust Street
Philadelphia PA 19103
phone: 215.732.8525
www.cava21.com

CONSULTANTS
BHG Consulting, INC.
Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
215.755.9318
Castelli Mechanical Design
Mechanical Engineering
6822 Clittenden Street
Philadelphia, PA 19119
267.257.0385
The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
610.337.3360
Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
Collegeville, PA 19426
Tel: 610.489.4580
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Consulting Engineers and Surveyors
100 Pine Street
Colwyn, PA 19023
215.928.8930

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No.	DATE	REVISION

PROJECT
ST. MARY'S RENEWAL PROJECT
RENOVATION OF HISTORIC CHURCH & RECTORY
OWNER:
AMERICAN LIVING CONCEPTS
OF MANAYUNK
828 RED LION RD. SUITE E-1
PHILADELPHIA, PA 19115
215.464.0455

CHURCH AND RECTORY
SITE PLAN
HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No: C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19 G 004
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SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS AS THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.



ENTIRETY OF CHURCH AND RECTORY ARE CERTIFIED HISTORIC FACADES.
SEE ELEVATIONS, PLANS AND KEY NOTES ON D100 & A100 FOR
CLARIFICATIONS AND ADDITIONAL SCOPE.

CHURCH DEMOLITION SCOPE:

EXTERIOR: REMOVE EXISTING DOORS, LOUVERS & WINDOWS UNO
(SEE TOWER ELEVATIONS). REMOVE EXTRANEIOUS FIXTURES,
WINDOW UNIT AIR CONDITIONS, WINDOW GRILLES, ETC. CUT NEW
ROUND MASONRY OPENINGS AS SHOWN ON TOWER ELEVATIONS.
CLEAN ALL MASONRY AND REPOINT WHERE NOTED.

NEW WORK:

EXTERIOR: NEW ALUM CLAD WINDOWS & TRIM IN EXG OPCS,
FIXTURES UNO, SOLAR PANELS, AS SHOWN. ALL EXPOSED WOOD
TO BE SANDED AND REPAINTED. NEW ROUND WINDOWS IN NEW
OPGS WHERE NOTED. EXG DOORS AND WINDOWS NOTED TO
REMAIN ON TOWER TO BE CLEANED & REPAIRED.

RECTORY DEMOLITION SCOPE:

EXTERIOR: REMOVE ALL EXG REPLACEMENT WINDOWS. ON
CONARROE STREET FACADE, REMOVE ALL METAL WINDOW AND
DOOR TRIM. AT REAR FACADE, TRIM TO REMAIN. REMOVE EXG
FRONT ENTRANCE DOORS & SIDELITE. STAINED GLASS TRANSOM
TO REMAIN. CLEAN EXG BRICK AND STUCCO. 30% OF BRICK
FACADE TO BE REPOINTED. REMOVE REAR ADDITION (INFILL) ON
SECOND FLR. REMOVE EXTRANEIOUS FIXTURES, WINDOW AIR
CONDITIONS, WINDOW GRILLES (TO BE REINSTALLED), ETC.

NEW WORK:

EXTERIOR: NEW ALUMINUM CLAD WINDOWS & TRIM IN EXG OPCS
ALONG CONARROE STREET FACADE, NEW FIBERGLASS WINDOWS
WITH EXG METAL TRIM IN GARDEN. ALL EXG AND NEW WOOD
INCLUDING BAY TO RECEIVE NEW PAINT - UNO. ALL STUCCO TO
REMAIN, PATCHED AND ADDED WHERE NOTED. NEW DOWNSPOUTS
AND FIXTURES WHERE NOTED. NEW WHITE TPO ON FLAT ROOF
AND AT REAR INFILL REMOVAL, NEW SOLAR PANELS.

CaVA
Architects, llp

2118 Locust Street
Philadelphia PA 19103
phone: 215.732.8525
www.cava21.com

CONSULTANTS

BHG Consulting, INC.

Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
Tel: 215.755.9318

Castell Mechanical Design

Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
Tel: 267.257.0385

The Harman Group, Inc.

Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19026
Tel: 610.337.3360

Yohn Engineering

Civil Engineering
555 Second Ave., Suite B-205
Collegeville, PA 19426
Tel: 610.489.4580

Ambric Technology Corporation

Consulting Engineers and Surveyors
100 Pine Street
Colwyn, PA 19023
Tel: 215.928.8930

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PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

OWNER:
AMERICAN LIVING CONCEPTS
OF MANAYUNK
828 RED LION RD. SUITE E-1
PHILADELPHIA, PA 19115

SUPPLEMENTAL IMAGES

HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	NTS
ISSUED:	06/11/19
PRELIMINARY CODE REVIEW	HP 101



1 PROPOSED VIEW OF CHURCH FROM DOWN HILL ON CARROE ST.
Scale: NTS PROPOSED SOLAR ARRAYS NOT VISIBLE



2 EXISTING VIEW UP THE HILL ON CARROE STREET
Scale: NTS SEE G002 FOR ARIAL VIEW OF PROPOSED SOLAR ARRAYS



3 EXISTING AERIAL VIEW OF DESIGNATED CHURCH & RECTORY
Scale: NTS SEE G002 FOR ARIAL VIEW OF PROPOSED SOLAR ARRAYS

KEY NOTES: SEE D100 & A100

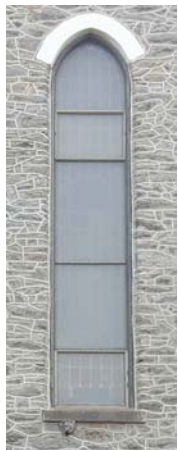
SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17
SHEETS THE SCALE IS 1/4" = 1' THE SIZE SHOWN. FOR DRAWINGS
PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.



HP102.1 EXISTING CHURCH SIDE YARD ELEVATION



HP102.2 EXISTING CHURCH GARDEN ELEVATION



HP102.6/7 EXISTING CHURCH WINDOWS - REMOVE AND REPLACE WITH ALUM CLAD WOOD WINDOWS, ALUM CLAD BRICK MOLD. SEE ELEVATION. PORTIONS OF STAINED GLASS TO BE REUSED INSIDE PROJECT.



HP102.8 INTERIOR OF EXISTING CHURCH TRANSOM - 1 OF 3 ON CONARROE STREET FACADE - PAINT EXG WD TRIM. MODIFY EXG STAINED GLASS TO REMOVE CROSS. REPLACE WITH STAINED GLASS SEGMENTS FROM REMOVED CHURCH WINDOWS



HP102.3 EXISTING CHURCH CONARROE STREET ELEV. REPLACE EXG WD VENTS WITH NEW CLAD VENTS. REPLACE ROUND WINDOW WITH CLAD, SEE SCHEDULE. REMAINDER OF WINDOWS, DOORS, TRANSOMS TO REMAIN. PAINT WOOD TRIM



HP102.12/13 EXISTING ROUND CHURCH OPENING. REPLACE WITH NEW AL CLAD WINDOW WITH REPURPOSED STAINED GLASS. & AL CLAD TRIM. NEW ROUND WINDOWS SIMILAR.



HP102.9 TYP EXISTING BASEMENT WINDOW - ALL BASEMENT WINDOWS TO BE REPLACED WITH ALUM CLAD AND CLAD BRICK MOLD



HP102.10 INTERIOR OF EXISTING TOWER WINDOW TO REMAIN (SEE HP102.4).



HP102.4 EXISTING CHURCH CONARROE ST ELEV. PAINT EXG WOOD TRIM. REMOVE EXG EXTERIOR PLEXIGLASS



HP102.11 REPLACE (3) SETS OF EXISTING DOORS WITH paneled WOOD DOORS. PAINT EXG WD TRIM. SEE HP102.09 FOR TRANSOM INFO.



HP102.5 EXISTING CHURCH ALLEY ELEV. PATCH AND CLEAN EXG STUCCO

CHURCH DEMOLITION SCOPE:

EXTERIOR: REMOVE EXISTING DOORS, LOUVERS & WINDOWS UNO (SEE TOWER ELEVATIONS). REMOVE EXTRANEOUS FIXTURES, WINDOW UNIT AIR CONDITIONS, WINDOW GRILLES, ETC. CUT NEW ROUND MASONRY OPENINGS AS SHOWN ON TOWER ELEVATIONS. CLEAN ALL MASONRY AND REPOINT WHERE NOTED.

NEW WORK:

EXTERIOR: NEW ALUM CLAD WINDOWS & TRIM IN EXG OPGS, FIXTURES UNO, SOLAR PANELS, AS SHOWN. ALL EXPOSED WOOD TO BE SANDED AND REPAINTED. NEW ROUND WINDOWS IN NEW OPGS WHERE NOTED. EXG DOORS AND WINDOWS NOTED TO REMAIN ON TOWER TO BE CLEANED & REPAIRED.

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" = 1'-0". FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

CaVA

Architects, llp

2118 Locust Street
Philadelphia PA 19103
phone: 215.732.8525
www.cava21.com

CONSULTANTS

BHG Consulting, INC.
Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
Tel: 215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
Tel: 267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
Tel: 610.337.3360

Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
Collegeville, PA 19426
Tel: 610.489.4580

Ambric Technology Corporation
Consulting Engineers and Surveyors
100 Pine Street
Colwyn, PA 19023
Tel:

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No.	DATE	REVISION

PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC ST. MARY'S RECTORY

OWNER:
AMERICAN LIVING CONCEPTS
OF MANAYUNK
828 RED LION RD. SUITE E-1
PHILADELPHIA, PA 19115

EXG CONDITION PHOTOS - CHURCH HISTORIC SUBMISSION

PRELIMINARY CODE REVIEW	PROJECT No.	C1805
	SCALE:	NTS
	ISSUED:	06/11/19
	HP 102	



HP103.1 EXISTING CONARROE ST ELEV. REPOINT APPROX 30% TO MATCH EXG. REMOVE ALL METAL TRIM COVER. REPLACE ALL REPLACEMENT WINDOWS WITH DOUBLE HUNG DIVIDED ALUM CLAD WINDOWS & CLAD BRICK MOLD TRIM. EXG WD LINTEL AND SILLS TO BE REPAIRED & PAINTED.



HP103.2 BAY WINDOW DETAIL. REMOVE ALL AL TRIM COVERM TYP SEE HP103.1



HP103.3 BAY WINDOW - REPLACE WINDOWS AND BRICK MOLD WITH ALUM CLAD. REMOVE METAL TRIM. RESTORE THE WOOD LINTEL AND SILLS & REPAIR.



HP103.4 EXISTING SHINGLE ROOF TO REMAIN.



HP103.5 EXISTING REAR YARD ELEVATION- CLEAN & PATCH STUCCO TO REMAIN. NEW FIBERGLASS DOUBLE HUNG WINDOWS WITH EXG MTL TRIM



HP103.6 EXISTING KITCHEN ADDITION- VIEW FROM GARDEN - TO BE REMOVED



HP103.7 EXISTING LIGHT WELLS - TO REMAIN



HP103.8 ONE OF MULTIPLE WINDOW A/C UNITS - REMOVE ALL EXISTING



HP103.9 PAIR OF EXISTING VESTIBULE DOORS TO BE MATCHED TO REPLACE EXTERIOR ENTRY DOOR



HP103.10 REMOVE METAL TRIM/ SILL/ HEAD AND REPLACEMENT WINDOWS ON CONARROE ST FACADE. REPLACE WITH ALUM CLAD WOOD WINDOWS AND BRICK MOULD TRIM. REPAIR AND PAINT EXG WOOD SILL AND LINTEL



HP103.11 EXISTING REPLACEMENT WINDOW WITH EXPOSED WOOD LINTEL - THE ONLY OPG AT RECTORY WITHOUT METAL TRIM/COVER. REPAIR & PAINT.



HP103.12 REMOVE ALL METAL TRIM COVERS - EXG WOOD TRIM BENEATH TO REMAIN. REPAIR, REPAINT, TYP

RECTORY DEMOLITION SCOPE:

EXTERIOR: REMOVE ALL EXG REPLACEMENT WINDOWS. ON CONARROE STREET FACADE, REMOVE ALL METAL WINDOW AND DOOR TRIM. AT REAR FACADE, TRIM TO REMAIN. REMOVE EXG FRONT ENTRANCE DOORS & SIDELITE. STAINED GLASS TRANSOM TO REMAIN. CLEAN EXG BRICK AND STUCCO. 30% OF BRICK FACADE TO BE REPOINTED. REMOVE REAR ADDITION (INFILL) ON SECOND FLR. REMOVE EXTRANEOUS FIXTURES, WINDOW AIR CONDITIONS, WINDOW GRILLES (TO BE REINSTALLED), ETC.

NEW WORK:

EXTERIOR: NEW ALUMINUM CLAD WINDOWS & TRIM IN EXG OPGS ALONG CONARROE STREET FACADE, NEW FIBERGLASS WINDOWS WITH EXG METAL TRIM IN GARDEN. ALL EXG AND NEW WOOD INCLUDING BAY TO RECEIVE NEW PAINT - UNO. ALL STUCCO TO REMAIN, PATCHED AND ADDED WHERE NOTED. NEW DOWNSPOUTS AND FIXTURES WHERE NOTED. NEW WHITE TPO ON FLAT ROOF AND AT REAR INFILL REMOVAL, NEW SOLAR PANELS.

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Architects, llp

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Philadelphia PA 19103
phone: 215.732.8525
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Electrical Engineering
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Philadelphia, PA 19145
Tel: 215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
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King of Prussia, PA 19406
Tel: 610.337.3360

Yohn Engineering
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Collegeville, PA 19426
Tel: 610.489.4580

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Consulting Engineers and Surveyors
100 Pine Street
Colwyn, PA 19023
Tel:

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No.	DATE	REVISION

PROJECT

ST. MARY'S RENEWAL PROJECT
RENOVATION OF HISTORIC ST. MARY'S RECTORY

OWNER:
AMERICAN LIVING CONCEPTS
OF MANAYUNK
828 RED LION RD. SUITE E-1
PHILADELPHIA, PA 19115

EXG CONDITION PHOTOS - RECTORY
HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	NTS
ISSUED:	06/11/19
PRELIMINARY CODE REVIEW	

HP 103

DEMOLITION NOTES

ENTIRETY OF CHURCH AND RECTORY ARE CERTIFIED HISTORIC FACADES. TREAT THEM AS SUCH. PROTECT ALL MATERIALS TO REMAIN DURING THE WORK. CONTRACTOR TO NOTIFY TEAM OF OTHER CONDITIONS NOT INDICATED THAT HE/ SHE BELIEVES REQUIRE ATTENTION, BUT SHALL NOT PROCEED WITH ANY WORK PERTAINING TO SAID CONDITIONS WITHOUT PRIOR APPROVAL FROM THE OWNER.

RECTORY SCOPE:

EXTERIOR: REMOVE ALL EXG REPLACEMENT WINDOWS. ON CONARROE STREET FACADE, REMOVE ALL METAL WINDOW AND DOOR TRIM. AT REAR FACADE, TRIM TO REMAIN. REMOVE EXG FRONT ENTRANCE DOORS & SIDELITE. STAINED GLASS TRANSOM TO REMAIN. CLEAN EXG BRICK AND STUCCO. 30% OF BRICK FACADE TO BE REPOINTED. REMOVE REAR ADDITION (INFILL) ON SECOND FLR. REMOVE EXTRANEIOUS FIXTURES, WINDOW AIR CONDITIONS, WINDOW GRILLES (TO BE REINSTALLED), ETC.

INTERIOR: DEMO EXISTING WALLS & BUILDING SYSTEMS AS SHOWN OR REQUIRED TO COMPLETE THE WORK. ALL CARPET, TILE FLOORING AND TILE BASE TO BE REMOVED. EXISTING WOOD FLOORING AND BASE TO REMAIN UNLESS SHOWN OTHERWISE. REMOVE EXISTING WALLS, DOORS, FRAMES AND TRIM, AND CUT NEW OPENINGS AS SHOWN. REUSE DOORS, TRANSOM AND HARDWARE AS NOTED, SALVAGE USEABLE MATERIAL WHERE INDICATED. TURN OVER REUSABLE DOORS, TRANSOMS, HARDWARE AND EQUIPMENT TO OWNER FOR REUSE WHERE SHOWN OR PRACTICABLE. REMOVE CEILING TILES, GRID, LIGHT FIXTURES. GWB AND PLASTER CLGS TO REMAIN.

GENERAL DEMOLITION NOTES

- 1. REMOVE PARTITIONS SHOWN DOTTED.
- 2. REMOVE EXG DOOR, FRAME, TRANSOM (IF APPLICABLE).
- 3. REMOVE ENTIRE EXG KITCHEN ADDITION INFILL AT RECTORY: CABINETS, APPLIANCES, FIXTURES, DOORS, WINDOW, CEILING, ROOF, FLOORING TO JOISTS, CORNER CHIMNEY TO BASEMENT. PREP FOR NEW ROOF AT EXG FLOOR LEVEL (BASEMENT ROOF). PREP FOR NEW STUCCO FACADE WHERE EXTERIOR REMOVED (1 CHURCH WALL, 2 RECTORY WALLS)
- 4. REMOVE EXG BATHROOM, PLUMBING FIXTURES, TILE.
- 5. REMOVE EXG CLOSET AND DOORS.
- 6. REMOVE EXG SAFE.
- 7. REMOVE EXG MARBLE FIREPLACE/ MANTEL. PROTECT AND STORE FOR REINSTALLATION IN UNIT R102.
- 8. EXG WOOD CABINETRY TO REMAIN. INSPECT & REPAIR HARDWARE. CLEAN ALL SURFACES.
- 9. REMOVE EXG SHELVES/ CABINETRY.
- 10. EXG WOOD DOORS TO BE REMOVED. RETURN TO OWNER.
- 11. EXG AWNING TO REMAIN. CONFIRM CRANK IS OPERABLE.
- 12. EXG PAINTED WOOD TRIM TO REMAIN. SCRAPE, FILL, SAND AND PREPARE FOR NEW PAINT.
- 13. EXG HOSE BIB TO REMAIN. ENSURE WATER CONNECTION.
- 14. RECTORY: REMOVE EXG REPLACEMENT WINDOW. REMOVE ALL EXG METAL TRIM/ BRICKMOULD CAPPING. MAINTAIN THE ORIGINAL WOOD/ EXG BRICK MOULD/ TRIM/ OGEE/ UNTEL/ SILL UNDERNEATH ON CARROE ST (FRONT) ELEVATION. CLEAN, SAND, FILL, PAINT EXG. IF WD IS NOT ABLE TO BE REUSED (PARTICULARLY WOOD HEADERS), PROVIDE NEW (PER HISTORIC). SEE ELEVS.
- 15. REMOVE EXG ALUMINUM TRIM SURROUND AT FRONT DOOR/ TRANSOM/ SIDE LIGHT. REMOVE WOOD DOOR AND SIDE LIGHT, STAINED GLASS TRANSOM TO REMAIN. INSPECT AND REPAIR TRANSOM. PROTECT DURING WORK. PAINT ALL WOOD. PREP FOR NEW DOOR- SEE ELEVATIONS.
- 16. REMOVE EXG WINDOWS. ALUM TRIM TO REMAIN. (REAR

CHURCH DEMOLITION SCOPE:

EXTERIOR: REMOVE EXISTING DOORS, LOUVERS & WINDOWS UNO (SEE TOWER ELEVATIONS). WOOD TRIM TO REMAIN. REMOVE EXTRANEIOUS FIXTURES, WINDOW UNIT AIR CONDITIONS, WINDOW GRILLES, ETC. CUT NEW ROUND MASONRY OPENINGS AS SHOWN ON TOWER ELEVATIONS. CLEAN ALL MASONRY AND REPOINT WHERE NOTED.

- ONLY) SEE ELEVATIONS.
- 17. REMOVE EXG WINDOW AIR CONDITIONING UNITS, TYP
- 18. REMOVE EXG WINDOW BOXES. PATCH SCREW HOLES, TYP
- 19. REMOVE UNUSED/ EXTRANEIOUS WIRES, PIPES, LIGHT FIXTURES, FLAG MOUNTS, SIGNAGE, DOWNSPOUTS, TYP ON ALL ELEVS, UNO.
- 20. BRICK: ALL EXPOSED BRICK FACADE TO BE CLEANED USING A LOW PRESSURE POWER WASH OF WATER AND MILD DETERGENT. SURVEY TO DETERMINE LOCATIONS FOR REPAIRS/ REPOINTING/ PATCHING OF MASONRY. ASSUME 30% REPOINTING AND REPAIR OF FACADE. REPOINT 100% OF 12" BAND AT BOTTOM OF FACADE. FILL ALL HOLES AND SPALLS IN BRICK WITH BRICK PATCHING MORTAR. REPOINT ALL AROUND WINDOW HEADS AND SILLS AFTER WINDOW REPLACEMENT. SEE 1/D311 ELEVATIONS. STONE: CLEAN FACADE WITH BIOSIDE "D2"
- 21. SURVEY STUCCO AND DETERMINE LOCATIONS OF REPAIRS. ALL "INFILL" AT ALL ELEVATIONS TO BE NEW OR REPLACED STUCCO. REMOVE EXG SHINGLES FROM ABOVE DOOR AT RECTORY BASEMENT SHED. ALL STUCCO TO BE CLEANED USING A LOW PRESSURE POWER WASH OF WATER AND MILD DETERGENT. SEE 2/D311 ELEVATIONS.
- 22. CLEAN & REPAIR EXG PORCH. WOOD RAILS TO BE REPLACED.
- 23. REMOVE EXG DOWNSPOUTS, REPLACE WITH NEW, TYP
- 24. REMOVE EXG ELECTRICAL, HEATING, LIGHTING SYSTEMS
- 25. REMOVE LIGHT FIXTURES, CLEAN, REPAIR FOR REINSTALLATION WHERE NOTED.
- 25.1. REMOVE LIGHT FIXTURES. RETURN TO OWNER. SEE ELECT DWGS FOR LOCATIONS FOR NEW LIGHTING
- 26. REMOVE/RELOCATE EXISTING HVAC, LIGHTING, POWER, MEP EQUIPMENT AS SHOWN ON ARCHITECTURAL OR MEP DRAWINGS OR AS REQUIRED.
- 27. REMOVE EXISTING ELECTRICAL/DATA DEVICES SHOWN OR WHERE LOCATED IN WALLS TO BE DEMOLISHED. REMOVE ALL ABANDONED WIRING.
- 28. SEE MEP DRAWINGS FOR ADDITIONAL MEP SCOPE.
- 29. REMOVE EXG SHINGLES & MEMBRANE TO PREP FOR NEW ROOF.
- 30. INSPECT & REPAIR EXG TOWER ROOF AND FLASHINGS.
- 31. REMOVE EXG CROSS, RETURN TO OWNER.
- 32. PAINT EXG WD TRIM. MODIFY EXG STAINED GLASS TO REMOVE CROSS. REPLACE WITH STAINED GLASS SEGMENTS FROM REMOVED CHURCH WINDOWS, STORM WINDOW
- 33. REMOVE INFILL AT TOWER OPENING (LOUVERS, WOOD, SPEAKERS, ETC). TRIM TO REMAIN. SEE ELEVATIONS & WINDOW SCHEDULE.
- 34. NEW MASONRY OPGS FOR NEW ROUND WINDOWS. MATCH EXG ROUND WINDOW DETAIL IN CHURCH TOWER.
- 35. REMOVE EXG STAINED GLASS WINDOWS, CAREFULLY, RETURN TO OWNER. EXTERIOR TRIM TO REMAIN. SEE

- RETURN TO OWNER. EXTERIOR TRIM TO REMAIN. SEE ELEVATIONS & WINDOW SCHEDULE.
- 36. REMOVE WINDOW. TRIM TO REMAIN. SEE ELEVATIONS & WINDOW SCHEDULE
- 37. REMOVE EXG EXTERIOR PLASTIC LATTICE
- 38. REMOVE EXG CHIMNEY ABOVE 1ST FLOOR
- 39. REMOVE EXG FLUE
- 40. REMOVE EXG METAL GRILLES
- 41. CLEAN ALL EXG STONE FACADE. ASSUME 30% OF FACADE WILL NEED MORE ATTENTION THAN OTHERS, PARTICULARLY THE NORTH FACADE ADJACENT TO THE REAR YARD OF THE RECTORY.
- 42. SCRAPE EXG METAL AND PREP TO PAINT.
- 43. REMOVE EXG BELLS FROM BELLTOWER. RETURN TO OWNER.
- 44. REMOVE ALL EXG DEBRIS FROM BELLTOWER, BASEMENT AND ATTIC SPACES. BROOM SWEEP CLEAN.
- 45. REMOVE EXG RADIATORS, TYP IN CHURCH AND RECTORY.
- 46. REMOVE EXG FLOOR FOR NEW STAIR - SEE STRUCT DWGS
- 47. EXG STAIR TO REMAIN. REMOVE EXG CARPET, REPAINT WITH SLIP RESISTANT PAINT ON TREADS. PAINT ALL PREVIOUSLY PTD SURFACES - WALLS/CEILING/RAILS/ ETC CAREFULLY CHIP AWAY DAMAGED AND CRACKED STUCCO IN AREAS SHOWN. CHURCH: (6) HEADERS ON SOUTH SIDE OF CHURCH, 3 HEADERS AT ENTRY DOORS ALONG CONARROE ST, AND THE SURROUNDS AT TOWER OPENINGS THAT ARE CURRENTLY STUCCOED.
- 49. PREP FOR NEW ROOF CRICKET
- 50. REMOVE EXG SHINGLE/ ROOF MATERIAL FROM END WALL
- 51. CUT OFF ALL REMAINING SHUTTER DOGS FLUSH WITH BRICK, TYP ON RECTORY

CaVA
Architects, llp

2118 Locust Street
Philadelphia PA 19103
phone: 215.732.8525
www.cava21.com

CONSULTANTS
BHG Consulting, INC.
Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
Tel: 215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
Tel: 267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
Tel:610.337.3360

Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
Collegeville, PA 19426
Tel: 610.489.4580

Ambric Technology Corporation
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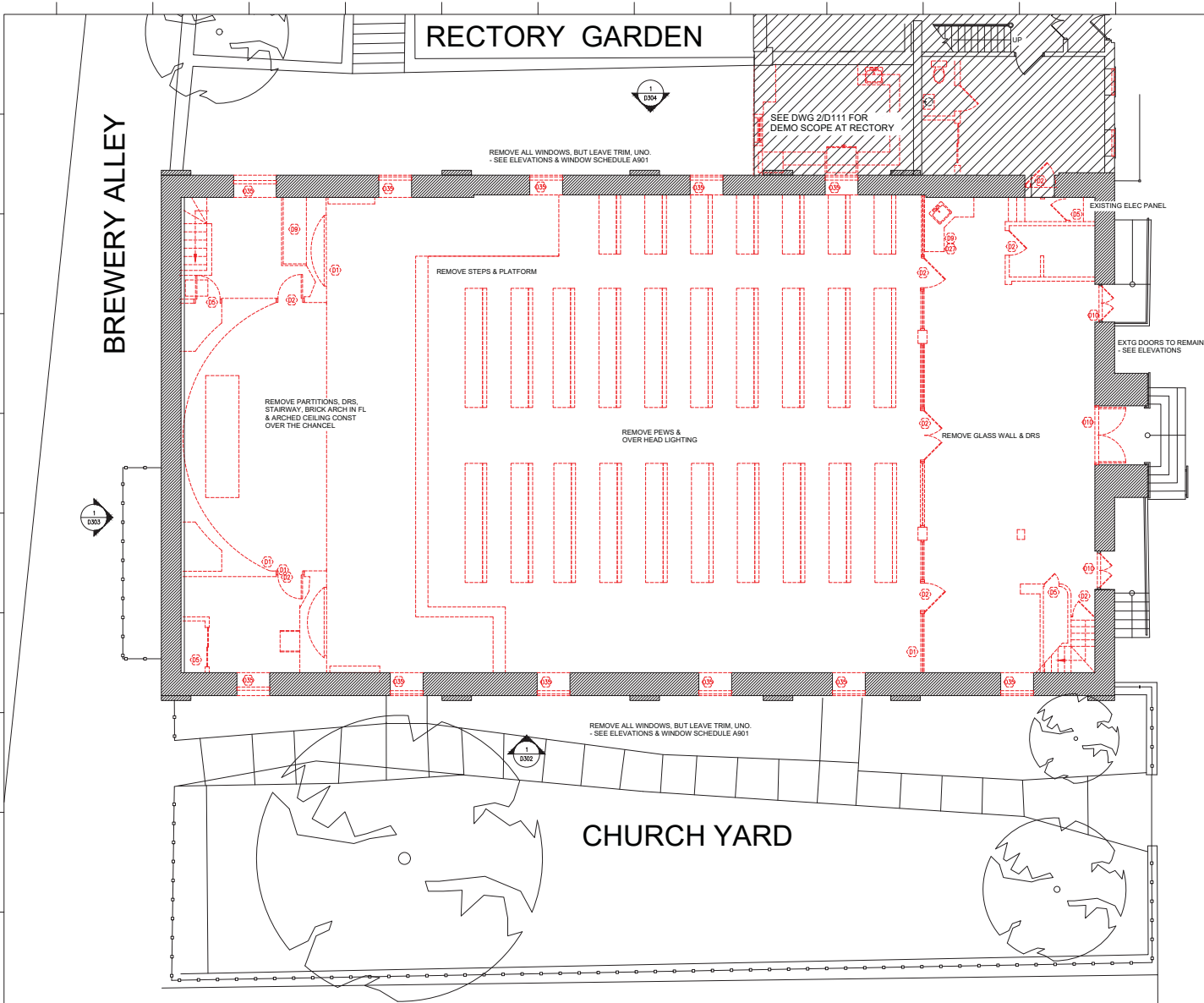
PROJECT
ST. MARY'S RENEWAL
PROJECT
RENOVATION OF HISTORIC
CHURCH & RECTORY

OWNER:
AMERICAN LIVING CONCEPTS
OF MANAYUNK
828 RED LION RD. SUITE E-1
PHILADELPHIA, PA 19115

CHURCH & RECTORY NOTES
- DEMO
HISTORIC SUBMISSION

PRELIMINARY CODE REVIEW	PROJECT No. C1805
	SCALE: NTS
	ISSUED: 06/11/19
D 100	

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17
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KEY

- EXTG WALL OR ITEM TO BE REMOVED
- EXTG DR TO BE REMOVED SAVE FOR OWNER
- EXTG MASONRY TO BE REMOVED SEE WINDOW SCHD

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2118 Locust Street
Philadelphia PA 19103
phone: 215.732.8525
www.cava21.com

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BHG Consulting, INC.

Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
215.755.9318

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Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
267.257.0385

The Harman Group, Inc.

Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
610.337.3360

Yohn Engineering

Civil Engineering
555 Second Ave., Suite B-205
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Tel: 610.489.4580

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PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

OWNER:
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CHURCH FIRST FLOOR DEMO PLAN

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No: C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
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D 102

1 FIRST FLOOR DEMO PLAN
D102 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

CONARROE ST



SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

RECTORY GARDEN BELOW

REMOVE ALL WINDOWS, BUT LEAVE TRIM, UNO.
- SEE ELEVATIONS & WINDOW SCHEDULE A901

SEE DWG 1/D112 FOR
DEMO SCOPE AT
RECTORY

REMOVE
REMAINDER
OF ORGAN

EXG STAINED GLASS
WINDOW TO REMAIN

REMOVE BALCONY, STAIRWAY
& PEWS (860 SF)

REMOVE ALL WINDOWS, BUT LEAVE TRIM, UNO.
- SEE ELEVATIONS & WINDOW SCHEDULE A901

CHURCH YARD

KEY

EXTG WALL OR ITEM
TO BE REMOVED

EXTG DR TO BE
REMOVED
SAVE FOR OWNER

EXTG MASONRY
TO BE REMOVED
SEE WINDOW SCHD

NEW MASONRY
OPNWS FOR 2-NEW
TYPE C1 WINDOWS
SEE WINDOW SCHD
A901



CONARROE ST

BREWERY ALLEY



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2118 Locust Street
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Electrical Engineering
1812 South 22nd Street
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215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
610.337.3360

Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
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Tel: 610.489.4580

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ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

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CHURCH SECOND FLOOR DEMO PLAN

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No. C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
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D 103

1 SECOND FLOOR DEMO PLAN
D103 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110



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Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
Tel: 215.755.9318

Castelli Mechanical Design

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6822 Crittenden Street
Philadelphia, PA 19119
Tel: 267.257.0385

The Harman Group, Inc.

Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
Tel: 610.337.3360

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Civil Engineering
555 Second Ave., Suite B-205
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PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

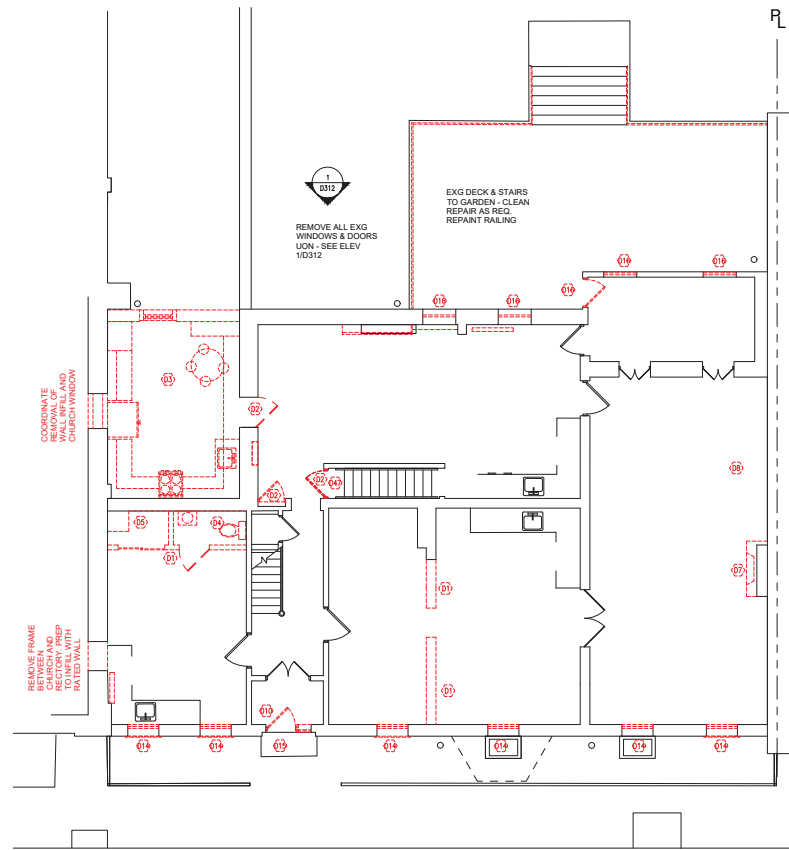
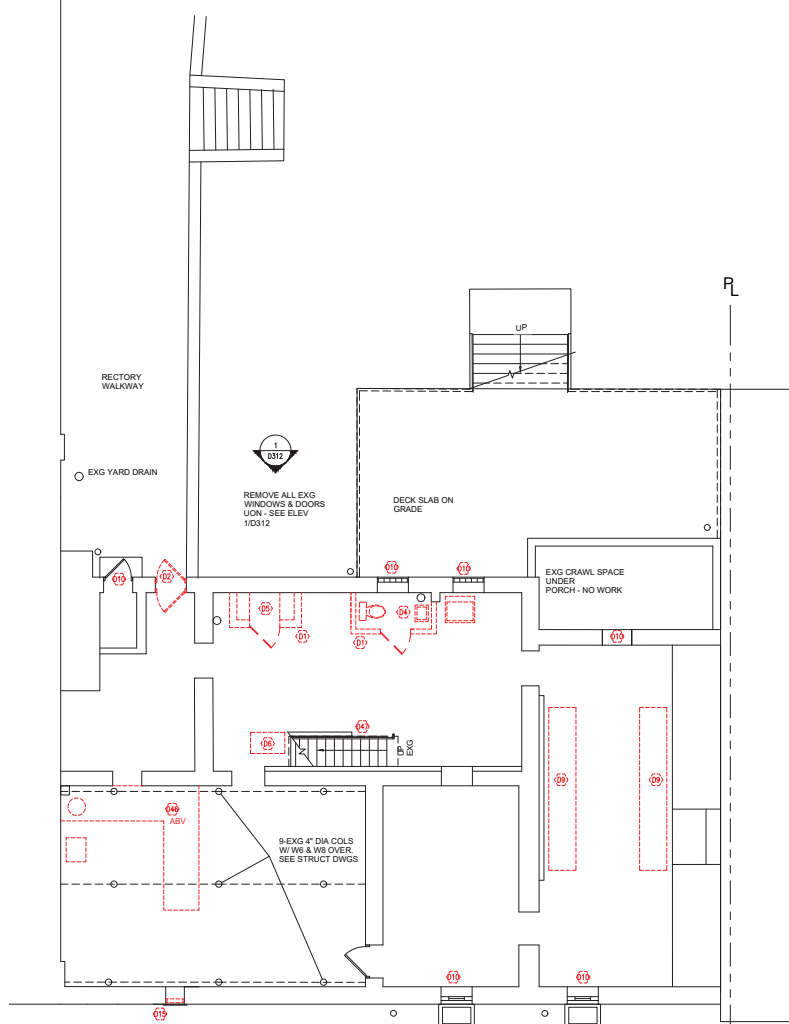
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RECTORY BASEMENT & FIRST FLOOR DEMO PLANS HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	NTS
ISSUED:	06/11/19
PRELIMINARY CODE REVIEW	
D 111	

KEY

- EXG WALL OR ITEM TO BE REMOVED
- EXG DR TO BE REMOVED SAVE FOR OWNER
- EXG MASONRY TO BE REMOVED SEE WINDOW SCHD



1 BASEMENT DEMO PLAN
D111 Scale: 3/16" = 1'-0"
KEY NOTES: SEE D100 & A100

2 FIRST FLOOR DEMO PLAN
D111 Scale: 3/16" = 1'-0"
KEY NOTES: SEE D100 & A100

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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BHG Consulting, INC.
Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
Tel: 215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
Tel: 267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
Tel: 610.337.3360

Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
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Tel: 610.489.4580

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ST. MARY'S RENEWAL PROJECT RENOVATION OF HISTORIC CHURCH & RECTORY

OWNER:
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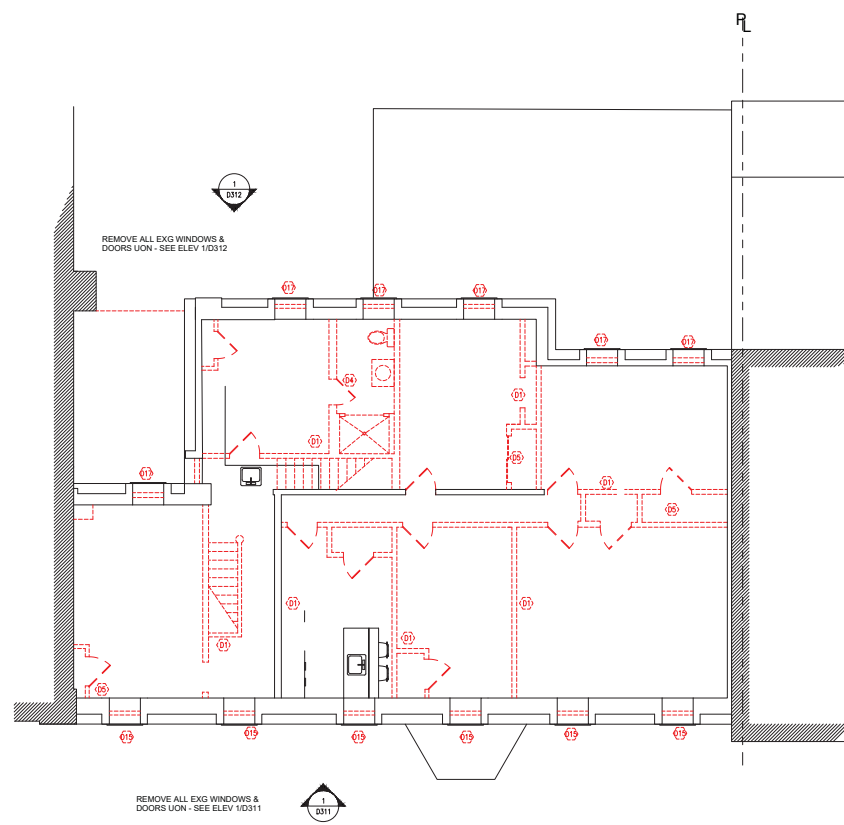
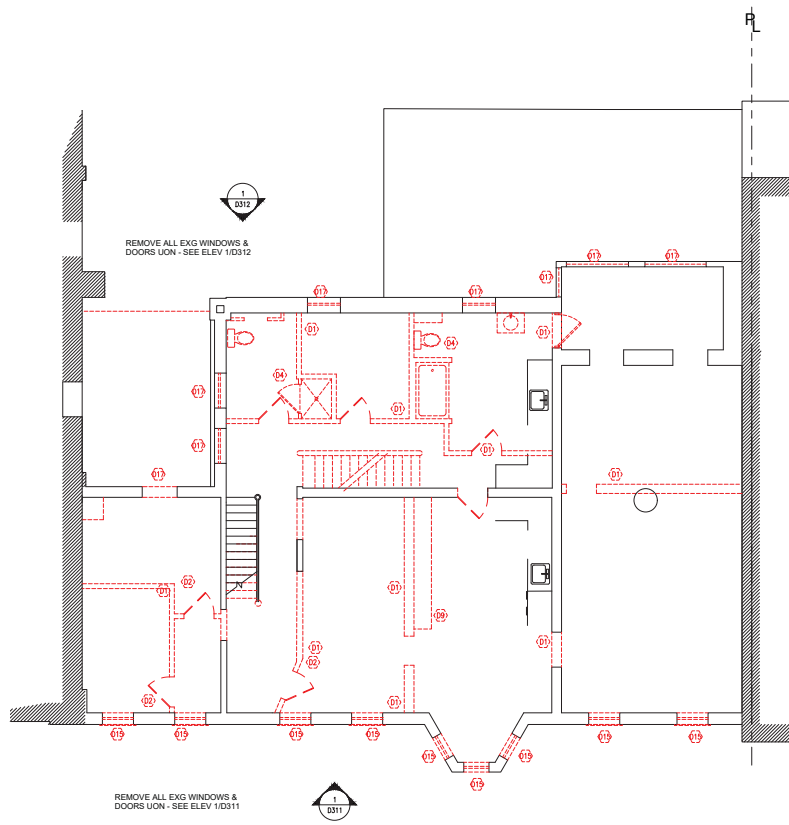
RECTORY DEMO PLANS

HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	NTS
ISSUED:	06/11/19
PRELIMINARY CODE REVIEW	D 112

KEY

- EXG WALL OR ITEM
TO BE REMOVED
- EXG DR TO BE REMOVED
SAVE FOR OWNER
- EXG MASONRY
TO BE REMOVED
SEE WINDOW SCHD



1 SECOND FLOOR DEMO PLAN
0112 Scale: 3/16"=1'-0"
KEY NOTES: SEE D100 & A100

2 THIRD FLOOR DEMO PLAN
0112 Scale: 3/16"=1'-0"
KEY NOTES: SEE D100 & A100

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17
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phone: 215.732.8525
www.cava21.com

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BHG Consulting, INC.
Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
610.337.3360

Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
Collegeville, PA 19426
Tel: 610.489.4580

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RENOVATION OF HISTORIC CHURCH & RECTORY

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SOUTH CHURCH ELEVATION - DEMO HISTORIC SUBMISSION

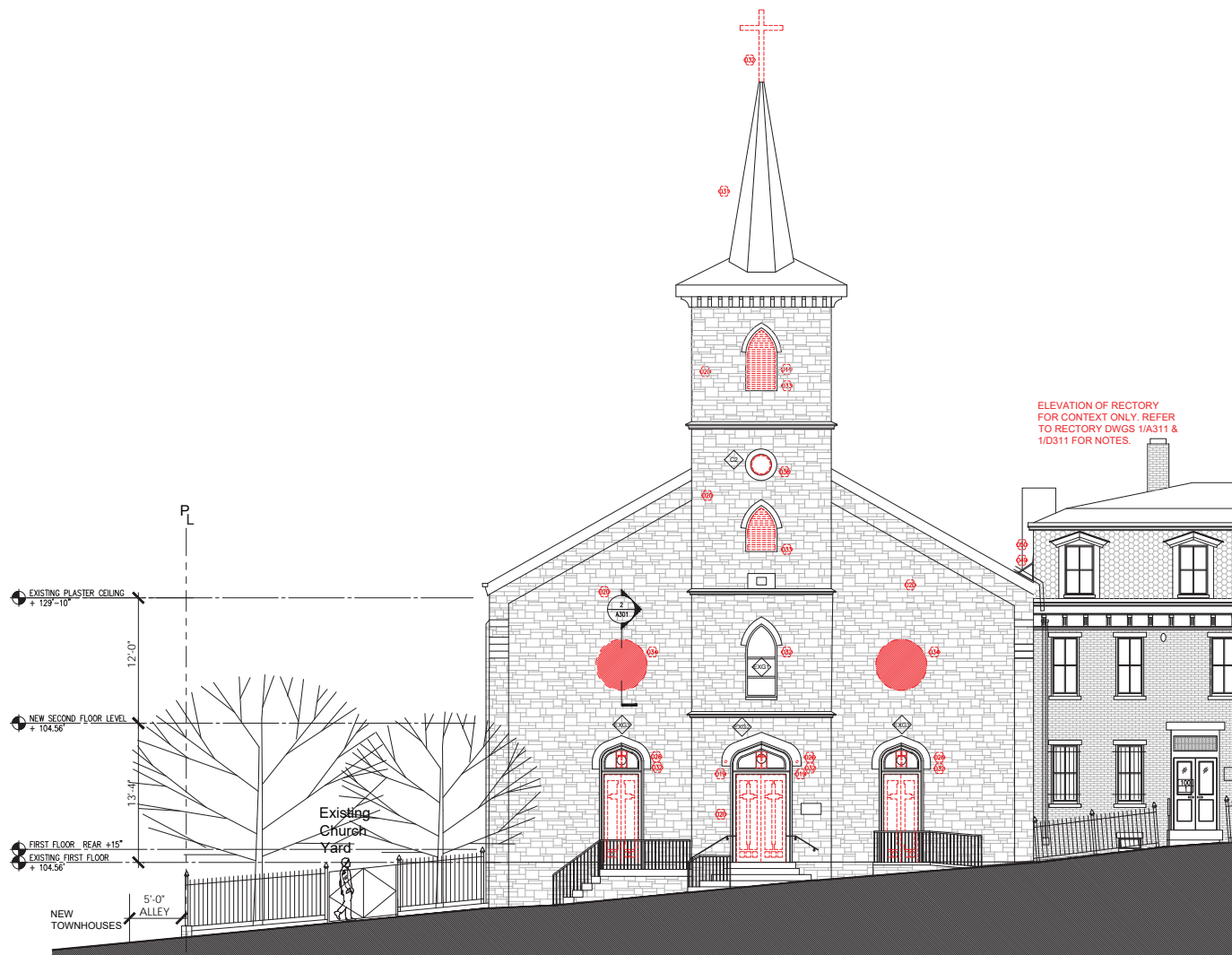
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COMMISSION
SUBMISSION

PROJECT No. C1805

SCALE: @ 22 x 34

ISSUED: 06/11/19

D 301



1 SOUTH ELEVATION
A301 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4 THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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Philadelphia PA 19103
phone: 215.732.8525
www.cava21.com

CONSULTANTS

BHG Consulting, INC.
Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
610.337.3360

Yohn Engineering
Civil Engineering
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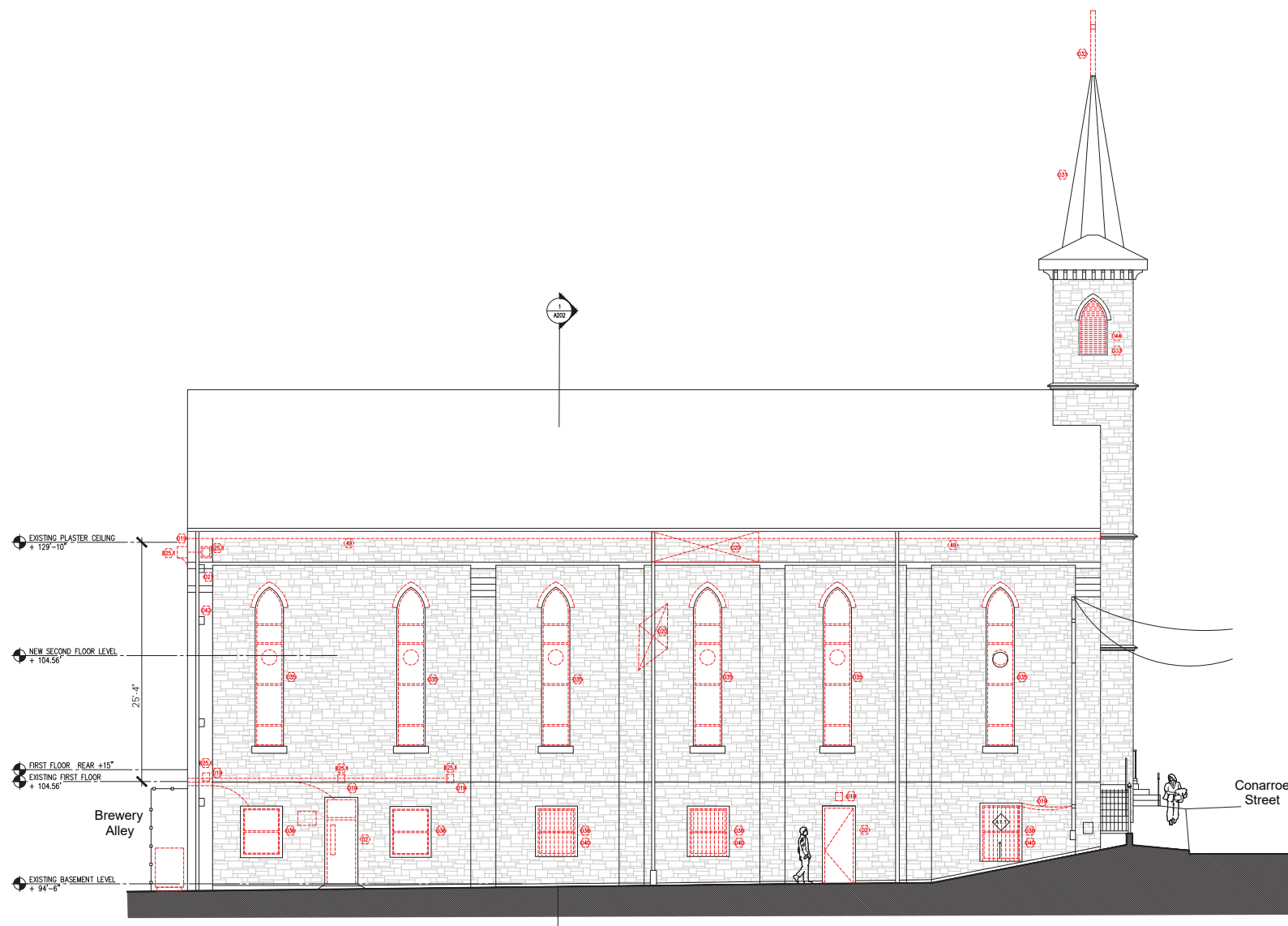
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RENOVATION OF HISTORIC CHURCH & RECTORY

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WEST CHURCH ELEVATION - DEMOLITION HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No.	C1805
	SCALE:	@ 22 x 34
	ISSUED:	06/11/19
	D 302	



1 WEST ELEVATION
A302 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
610.337.3360

Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
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RENOVATION OF HISTORIC CHURCH & RECTORY

OWNER:
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NORTH CHURCH ELEVATION - DEMOLITION

HISTORIC SUBMISSION

PROJECT No. C1805
SCALE: @ 22 x 34
ISSUED: 06/11/19

PHILADELPHIA
HISTORICAL
COMMISSION
SUBMISSION

D 303



1 NORTH ELEVATION
D 303 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4 THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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No.	DATE	REVISION

PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

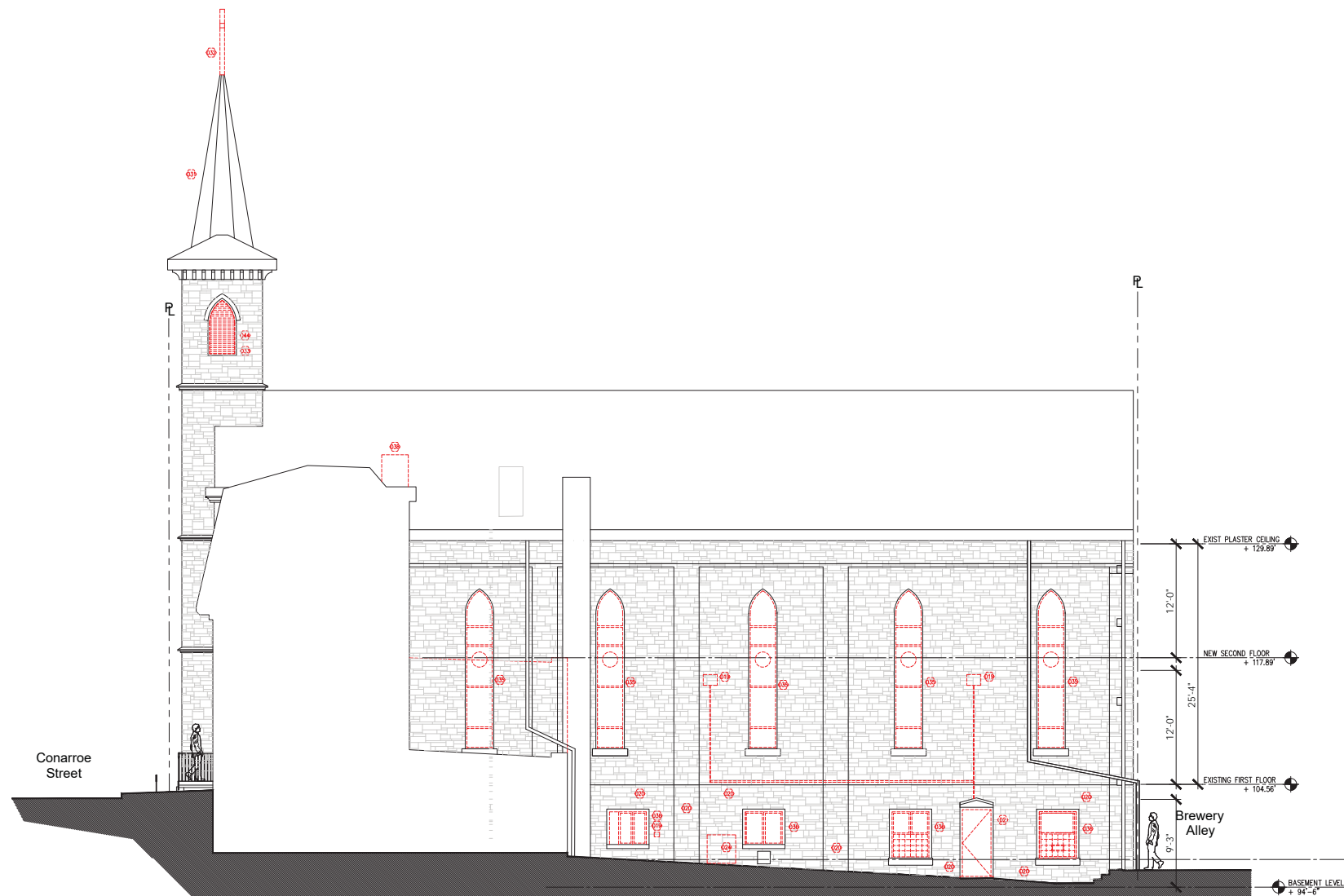
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EAST CHURCH ELEVATION DEMOLITION

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No.	C1805
	SCALE:	@ 22 x 34
	ISSUED:	06/11/19

D 304



1 NORTH ELEVATION
A304 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.



ELEVATION OF
CHURCH FOR
CONTEXT ONLY
REFER TO CHURCH
DWGS 1/A301 & 1/D301
FOR NOTES.

1 SOUTH ELEVATION
Scale: 3/16" = 1'-0"

KEY NOTES: SEE D100 & A100

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17
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PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

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SOUTH RECTORY ELEVATION- DEMOLITION HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	NTS
ISSUED:	06/11/19
PRELIMINARY CODE REVIEW	D 311

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Tel: 215.755.9318

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6822 Crittenden Street
Philadelphia, PA 19119
Tel: 267.257.0385

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Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
Tel: 610.337.3360

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Civil Engineering
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PROJECT

ST. MARY'S RENEWAL PROJECT RENOVATION OF HISTORIC CHURCH & RECTORY

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NORTH RECTORY ELEVATION - DEMOLITION HISTORIC SUBMISSION

PRELIMINARY CODE REVIEW	PROJECT No.	C1805
	SCALE:	NTS
	ISSUED:	06/11/19
	D 312	



1 NORTH ELEVATION
Scale: 3/16"=1'-0"

KEY NOTES: SEE D100 & A100

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17
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CONSTRUCTION NOTES

RECTORY SCOPE:

EXTERIOR: NEW ALUMINUM CLAD WINDOWS & TRIM IN EXG OPGS ALONG CONARROE STREET FACADE, NEW FIBERGLASS WINDOWS WITH EXG METAL TRIM IN GARDEN. ALL EXG AND NEW WOOD INCLUDING BAY TO RECEIVE NEW PAINT – UNO. ALL STUCCO TO REMAIN, PATCHED AND ADDED WHERE NOTED. NEW DOWNSPOUTS AND FIXTURES WHERE NOTED. NEW WHITE TPO ON FLAT ROOF AND AT REAR INFILL REMOVAL, NEW SOLAR PANELS.

INTERIOR: PAINT ALL NEW & EXG CLGS & WALLS, NEW STAIRS WHERE SHOWN, NEW CONSTRUCTION & BUILDING SYSTEMS AS SHOWN OR REQUIRED TO COMPLETE THE WORK. ALL WOOD FLOORING AND BASE TO BE SANDED AND REFINISHED. NEW TILE FLOOR WHERE SHOWN.

NEW WALLS, DOORS, FRAMES AND TRIM WHERE SHOWN OR REQUIRED. SAND AND REPAINT EXG DOORS/ TRANSOM TO REUSE WHERE NOTED. REUSE HARDWARE AS NOTED, SALVAGE AND REINSTALL USEABLE MATERIAL WHERE INDICATED. NEW PTD GWB CEILING AT PREVIOUS TILE LOCATION, NEW LIGHT FIXTURES, SWITCHES, OUTLETS, ETC. GWB AND PLASTER CLGS TO REMAIN.

GENERAL CONSTRUCTION NOTES

1. NEW PARTITIONS. SEE PARTITION SCHEDULE.
2. NEW DOOR, FRAME, TRANSOM (IF APPLICABLE). SEE DOOR SCHEDULE.
3. NEW KITCHEN: CABINETS, APPLIANCES, FIXTURES, DOORS, WINDOW, CEILING, ROOF, FLOORING TO JOISTS.
4. NEW BATHROOM, PLUMBING FIXTURES, TILE.
5. REPAINT EXG DOOR TO REMAIN
6. NEW WOOD PANEL DOORS
7. REINSTALLED MARBLE MANTEL. EXG WOOD CABINETRY TO REMAIN. INSPECT & REPAIR HARDWARE. CLEAN ALL SURFACES.
8. NEW CABINETRY.
9. CLEAN & PAINT EXG DOWNSPOUT BOOT (WHERE PREVIOUSLY PAINTED), TYP
10. CLEAN EXG WINDOWS TO REMAIN.
11. CLEAN EXG RETRACTABLE AWNING.
12. SCRAPE, FILL & PAINT ALL EXG WOOD TRIM. COLOR TBD
13. NEW DOWNSPOUT, COLOR TBD.
14. NEW WINDOW IN EXG OPG. SAND, FILL AND PAINT EXG WD LINTEL/ SILL/BRICK MOULD/ OGEE TRIM ON CARROE ST (RECTORY FRONT ELEV). REPLACE WHERE REQ WITH MATCHING. SEE ELEVATIONS.
15. NEW WOOD DOOR. NEW PTD TRIM, SURROUND. INSPECT, CLEAN AND REPAIR STAINED GLASS TRANSOM TO REMAIN. SAND, FILL & PAINT ALL WOOD. SEE ELEVATIONS.
16. NEW WINDOW IN EXG OPG. EXG ALUM TRIM SURROUND TO REMAIN. (RECTORY REAR YARD) SEE ELEVS.
17. NEW WINDOW IN EXG OPG. SEE WINDOW SCHEDULE.
18. NEW ADDRESS NUMBERS/ SIGNAGE (TBD)
19. ENSURE ALL NEW AND EXG TO REMAIN WIRES, PIPES, LIGHT FIXTURES, DOWNSPOUTS, ETC, ARE ALIGNED AND KEPT NEAT AND SQUARE. ALL FACADES.
20. REPAIR/ PATCH/ REPOINT ALL MASONRY WHERE REQUIRED BY MASONS SURVEY. ASSUME 30%.
21. NEW STUCCO.
22. CLEAN & REPAIR PORCH. NEW COMPOSITE RAILS. INSTALL NEW COMPOSITE LATTICE UNDER PORCH.
23. SCRAPE, SAND, REPAINT EXG WINDOW GRILLES.

CHURCH SCOPE:

EXTERIOR: NEW ALUM CLAD WINDOWS & TRIM IN EXG OPGS, FIXTURES UNO, SOLAR PANELS, AS SHOWN. ALL EXPOSED WOOD TO BE SANDED AND REPAINTED. NEW ROUND WINDOWS IN NEW OPGS WHERE NOTED. EXG WINDOWS & TRIM NOTED TO REMAIN ON TOWER TO BE CLEANED & REPAIRED.

INTERIOR: NEW FLOORING, BASE, INTERIOR WALLS, DOORS, FRAMES AND TRIM AS SHOWN OR REQUIRED. SALVAGE DOORS, HARDWARE AND USEABLE MATERIAL AS PRACTICABLE. ALL EXG WALLS TO REMAIN TO BE SANDED WHERE REQUIRED, PRIMED AND PAINTED. NEW SOLAR PANELS, ROOF, WINDOWS, STAIRS & ELEVATOR WHERE NOTED.

- REINSTALL ON FIRST FLOOR AS REQUIRED.
24. NEW LIGHT FIXTURE. SEE LIGHTING SCHEDULE.
 25. NEW ELECTRICAL, HEATING, LIGHTING SYSTEMS
 26. EXG LIGHT FIXTURE, CLEANED & REPAIRED, WITH NEW BULB
 27. NEW OR RELOCATED HVAC, LIGHTING, POWER, MEP EQUIPMENT, DEVICES AS SHOWN ON ARCHITECTURAL OR MEP DRAWINGS OR AS REQUIRED.
 28. ELECTRICAL SERVICE
 29. NEW ELECTRICAL METERS, ONE PER UNIT.
 30. SEE MEP DRAWINGS FOR ADDITIONAL MEP SCOPE.
 31. NEW SHINGLES.
 32. INSPECT, CLEAN, SEAL AND CAP EXG CHIMNEY.
 - 32.1. TYP – CAP WITH BREAK METAL
 - 32.2. COPPER CAP WITH 8" SPHERE FINIAL ON TOP OF CHURCH SPIRE, AT PREVIOUS CROSS LOCATION
 33. CLEAN EXG ASPHALT FISHSCALE SHINGLES ON MANSARD ROOF. INSURE EXG FLASHINGS ARE APPROPRIATELY ATTACHED AND ADD NEW WHERE REQUIRED.
 34. NEW WHITE TPO MEMBRANE ROOF. NEW SUBSTRATE & FLASHING AT NEW LOCATIONS.
 35. NEW SOLAR PANEL ARRAY BY SOLAR STATES. PANELS PROJECT ~4" OFF OF ROOF. COORD AS REQUIRED
 36. NEW SOLAR PANEL DISCONNECT, COORD AS REQUIRED
 37. NEW CLAD CHURCH TOWER LOUVER VENTS IN EXG OPG TO MATCH EXG. WITH INTERIOR INSECT SCREENS
 38. EXG HISTORIC PLAQUE TO REMAIN
 39. EXG HISTORIC WOOD TRIM & BAY WINDOW – CLEAN, SAND, & REPAINT
 40. CLEAN & REPAINT EXG IRON FENCE & RAILINGS
 41. SMOOTH STUCCO SURROUND TO REMAIN
 42. NEW MASONRY OPGS FOR NEW WINDOWS
 43. CHURCH: INSPECT & REPAIR EXG SHINGLE ROOF & FLASHINGS GUTTERS, RWCS. REMOVE & PATCH ANY CABLE DISHES AND OTHER EXTRANEIOUS EQUIPMENT.
 44. INSTALL NEW CRICKET ON CHURCH ROOF AT CHURCH

(SOUTH) END OF RECTORY WHERE EXG RECTORY WALL EXTENDS ABOVE EXG SLOPED SHINGLED CHURCH ROOF. WHITE TPO. SLOPE TO FRONT AND BACK AND PROVIDE DOWNSPOUT TO CLOSEST RWC. EXTEND TPO UP SIDE OF RECTORY ROOF ADJACENT TO CHURCH AT LOCATION OF REMOVED ASPHALT.

45. NEW RWC, TYP
46. NEW 7 UNIT (RECTORY) 8 UNIT (CHURCH) WALL MOUNTED MAILBOX.
47. PRIME AND PAINT EXG METAL STRUCTURAL BRACKETS
48. RE STUCCO ALL (6) HEADERS ON SOUTH SIDE OF CHURCH, 3 HEADERS AT ENTRY DOORS ALONG CONARROE ST, AND THE SURROUNDS AT TOWER OPENINGS THAT ARE CURRENTLY STUCCOED.
49. REPOINT ENTIRE AREA OF BRICK CORBEL EAVE ON SOUTH SIDE OF CHUCH
55. PATCH ROOF AND WALL WHERE CHIMNEY WAS REMOVED TO MATCH ADJACENT
56. NEW STREET TREE IN EXG PIT. NEW DIRT. LINE PLANTER EDGE WITH LOW BRICK TREE PROTECTION

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phone: 215.732.8525
www.cava21.com

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Tel: 215.755.9318

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6822 Crittenden Street
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Structural Engineering
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PROJECT

ST. MARY'S RENEWAL PROJECT

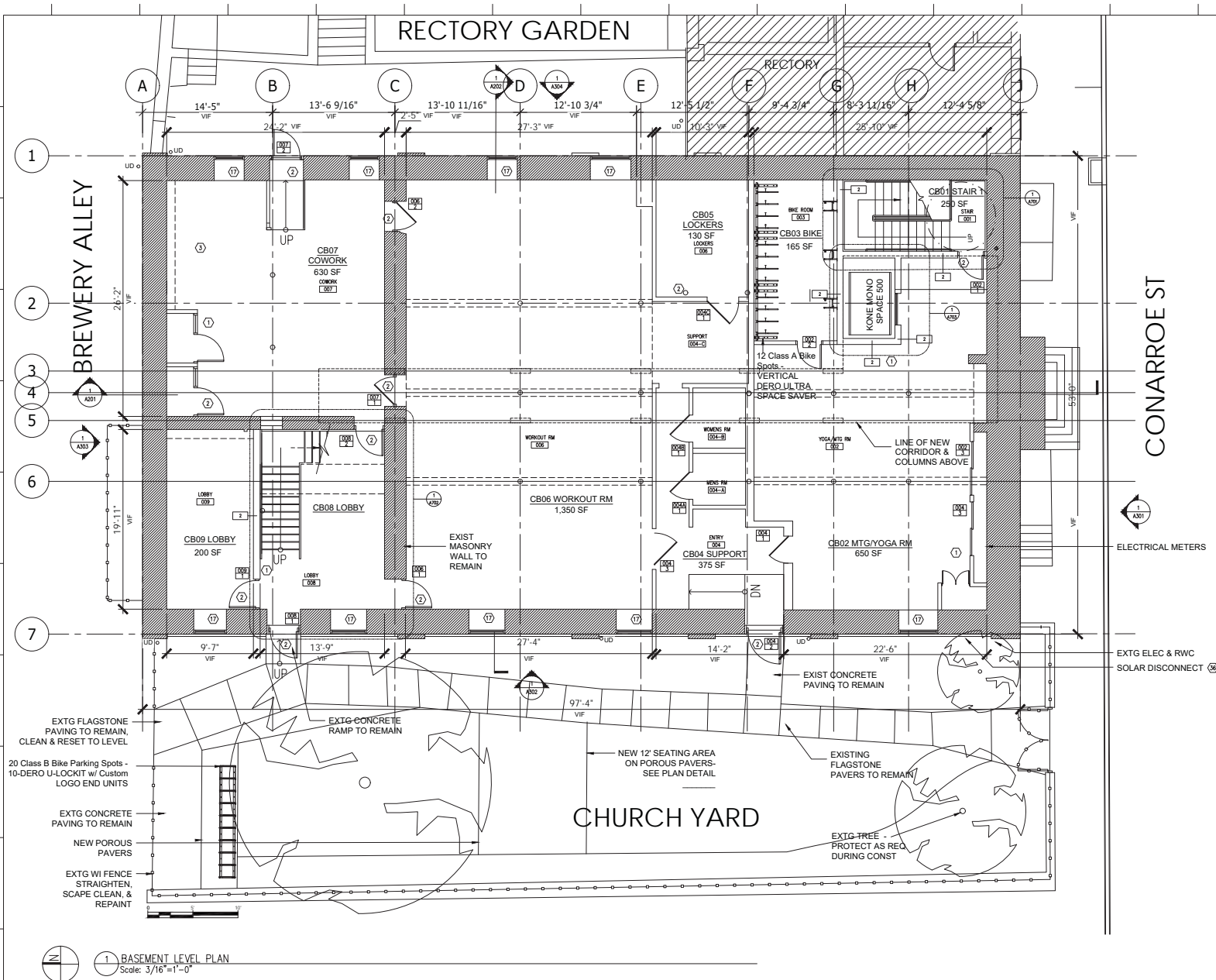
RENOVATION OF HISTORIC CHURCH & RECTORY

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CHURCH & RECTORY
NOTES - NEW WORK
HISTORIC SUBMISSION

PRELIMINARY CODE REVIEW	PROJECT No.	C1805
	SCALE:	NTS
	ISSUED:	06/11/19
	A 100	

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS $\frac{1}{4}$ THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.



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RENOVATION OF HISTORIC CHURCH & RECTORY

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CHURCH BASEMENT FLOOR PLAN

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No. C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
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A 101

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

BREWERY ALLEY

RECTORY GARDEN

RECTORY
SEE DWG 2/A111

CONARROE ST

CHURCH YARD

PARKING LOT

1 FIRST FLOOR PLAN
A102 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

0 5 10'

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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CHURCH FIRST FLOOR PLAN

HISTORIC SUBMISSION

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A 102

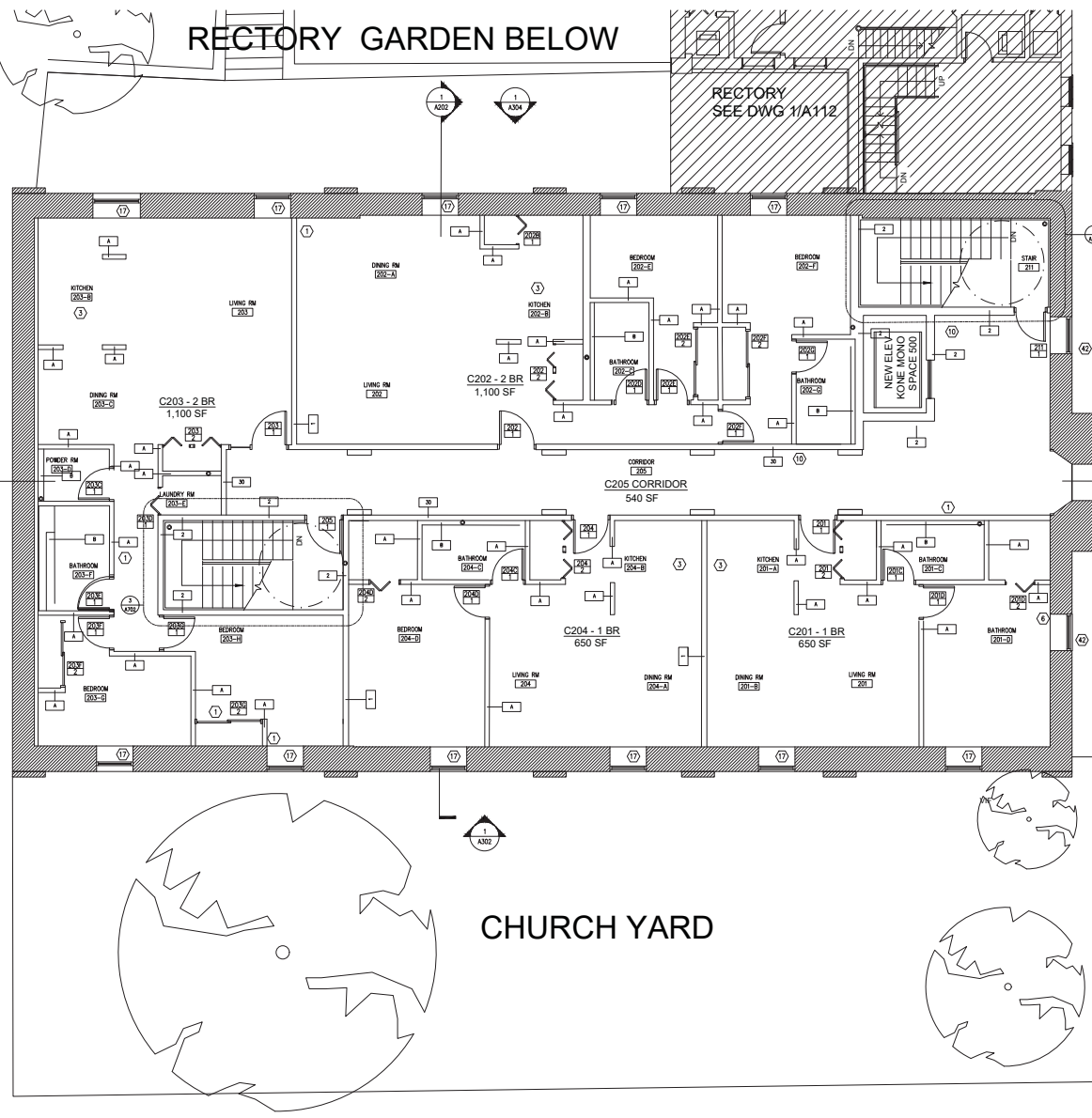
RECTORY GARDEN BELOW

RECTORY
SEE DWG 1/A112

BREWERY ALLEY

CONARROE ST

CHURCH YARD



1 SECOND FLOOR PLAN
A102 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

0 5 10'

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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Structural Engineering
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RENOVATION OF HISTORIC CHURCH & RECTORY

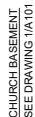
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CHURCH SECOND FLOOR PLAN

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No. C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
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A 103



KEY NOTES: SEE D100 & A100



KEY NOTES: SEE D100 & A100

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6	THE VIEW	
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ST. MARY'S RENEWAL
PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

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RECTORY FLOOR PLANS

HISTORIC SUBMISSION

PROJECT No:	C1805
SCALE:	NTS
ISSUED:	06/11/19
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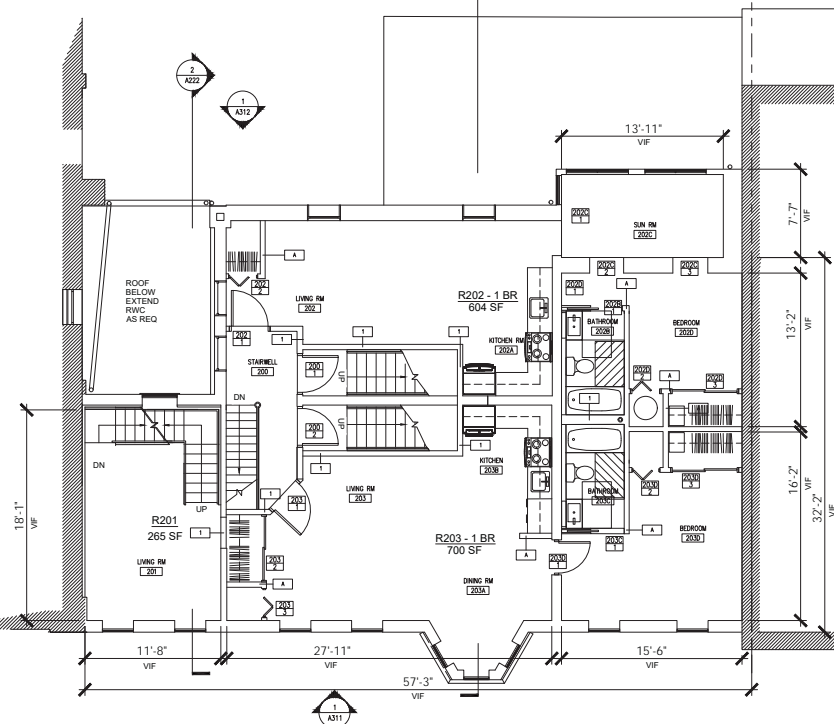
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RECTORY FLOOR PLANS

HISTORIC SUBMISSION

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215.755.9318

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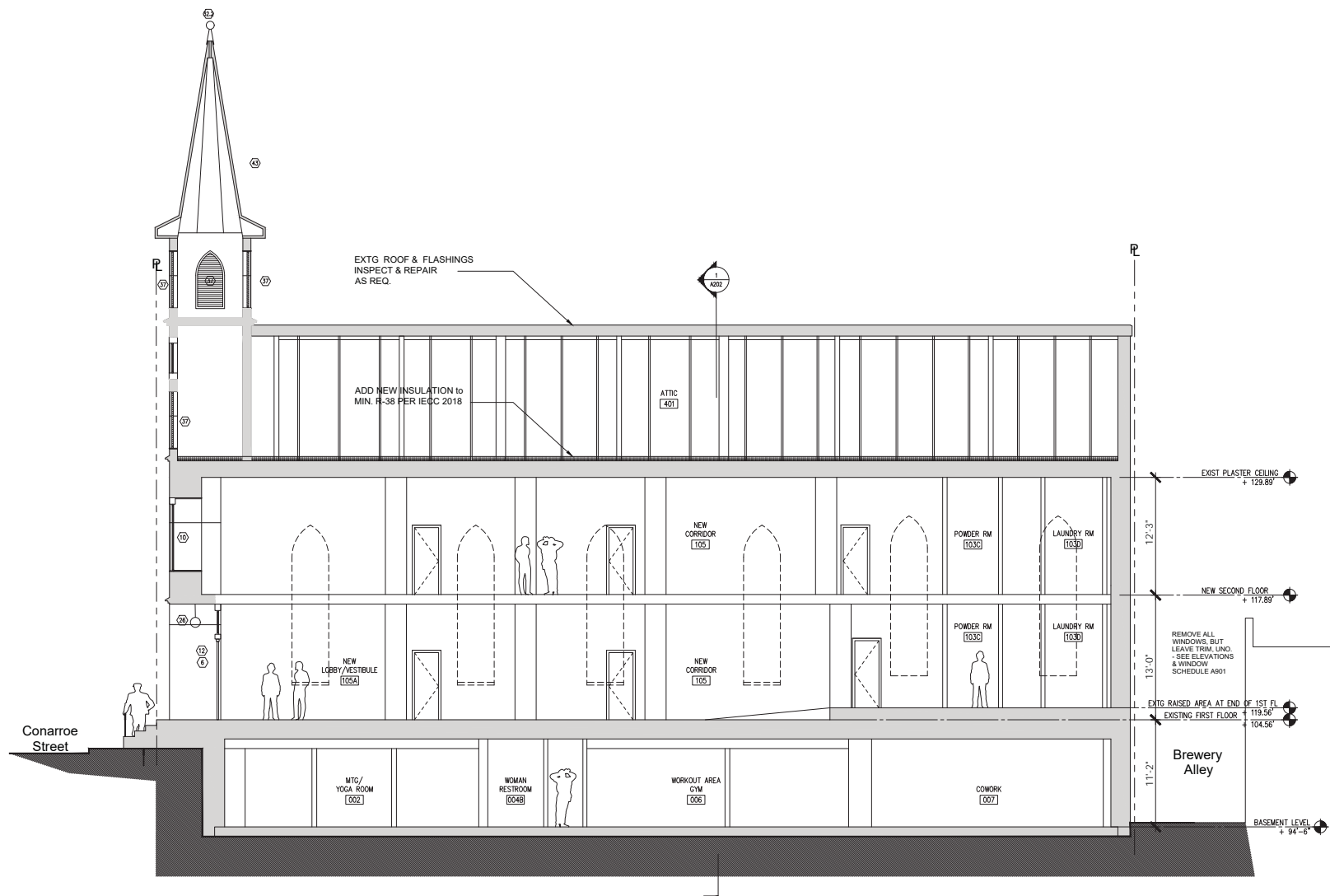
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CHURCH LONGITUDINAL SECTION

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No: C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
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A 201



1 LONGITUDINAL SECTION
Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

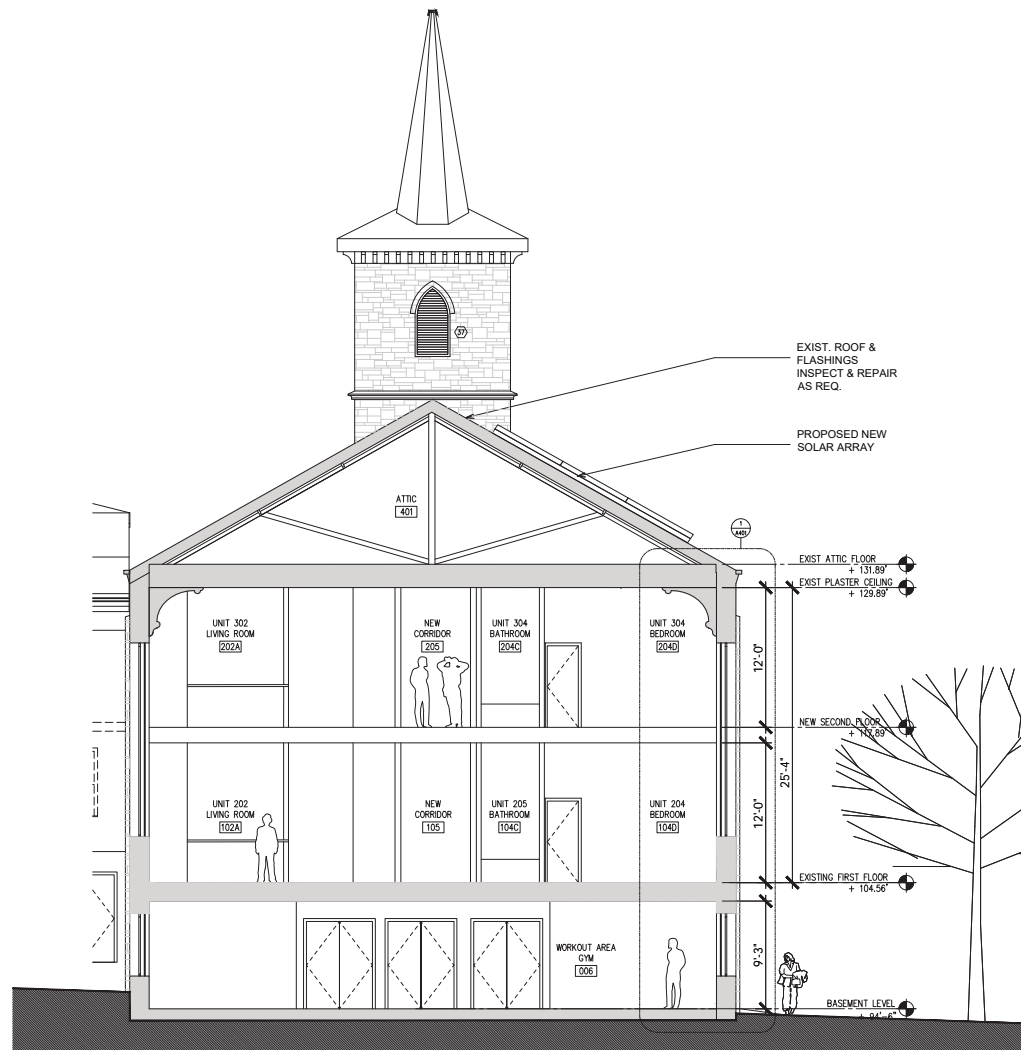
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CROSS SECTION

HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	@ 22 x 34
ISSUED:	06/11/19
PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	

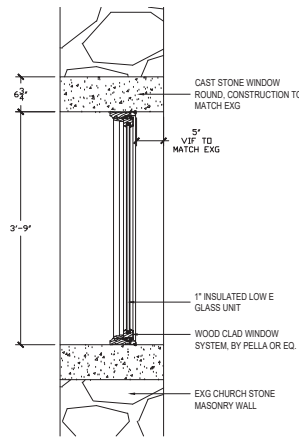
A 202



1 CROSS SECTION
Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.



2 NEW CHURCH WINDOW DETAIL
A301 Scale: 1"=1'-0"



1 SOUTH ELEVATION
A301 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

ELEVATION OF RECTORY FOR CONTEXT
ONLY. REFER TO RECTORY DWGS 1/A311
& 1/D311 FOR NOTES.

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17
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phone: 215.732.8525
www.cava21.com

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215.755.9318

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Structural Engineering
900 West Valley Forge Road, Suite 200
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610.337.3360

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Civil Engineering
555 Second Ave., Suite B-205
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No.	DATE	REVISION

PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

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SOUTH CHURCH ELEVATION

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No. C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
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A 301

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No.	DATE	REVISION

PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

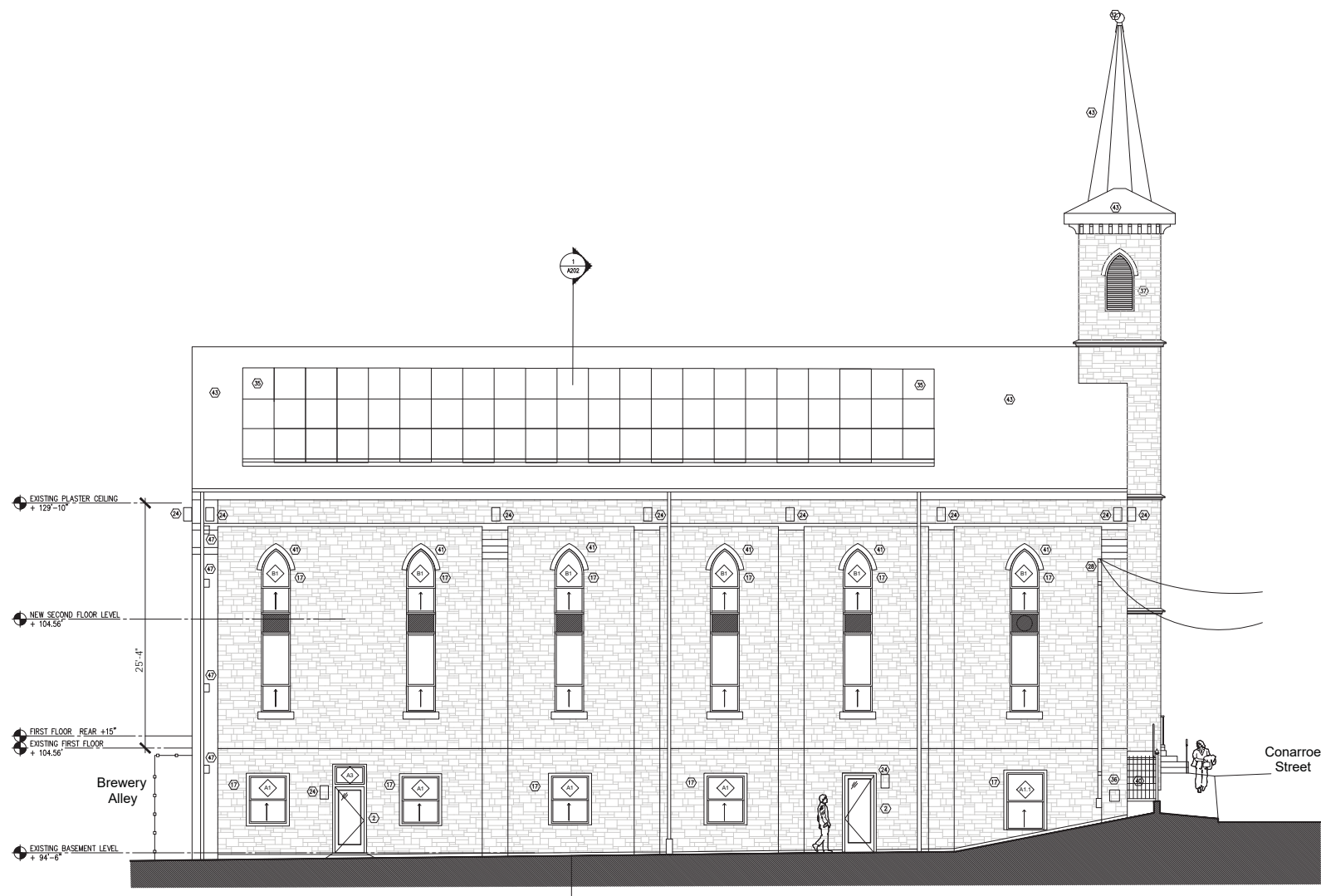
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WEST CHURCH ELEVATION

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No. C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
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A 302



1 WEST ELEVATION
A302 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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1812 South 22nd Street
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267.257.0385

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Structural Engineering
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610.337.3360

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Civil Engineering
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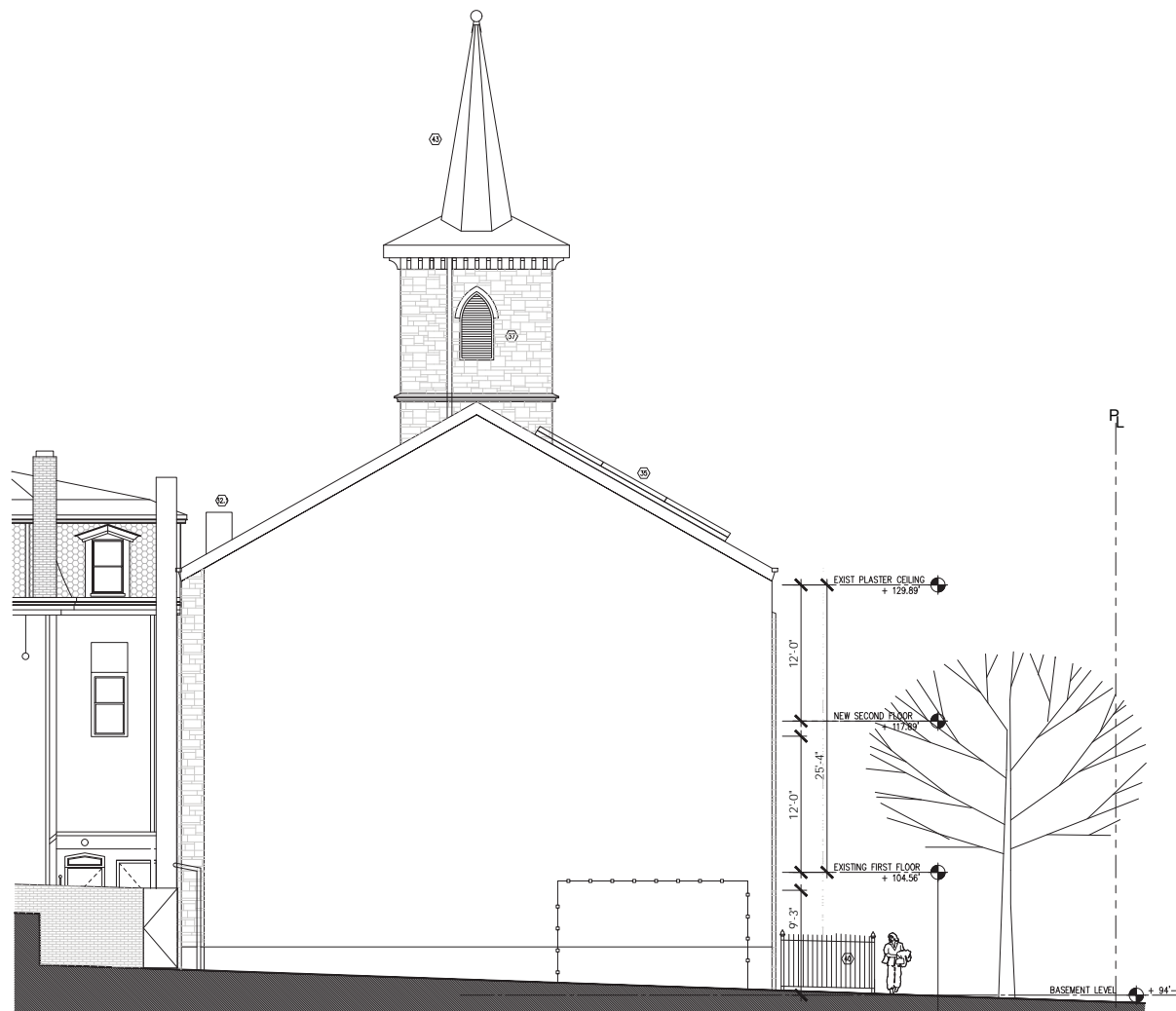
NORTH CHURCH ELEVATION

HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	@ 22 x 34
ISSUED:	06/11/19

PHILADELPHIA
HISTORICAL
COMMISSION
SUBMISSION

A 303



1 NORTH ELEVATION
A303 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4 THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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PROJECT

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RENOVATION OF HISTORIC CHURCH & RECTORY

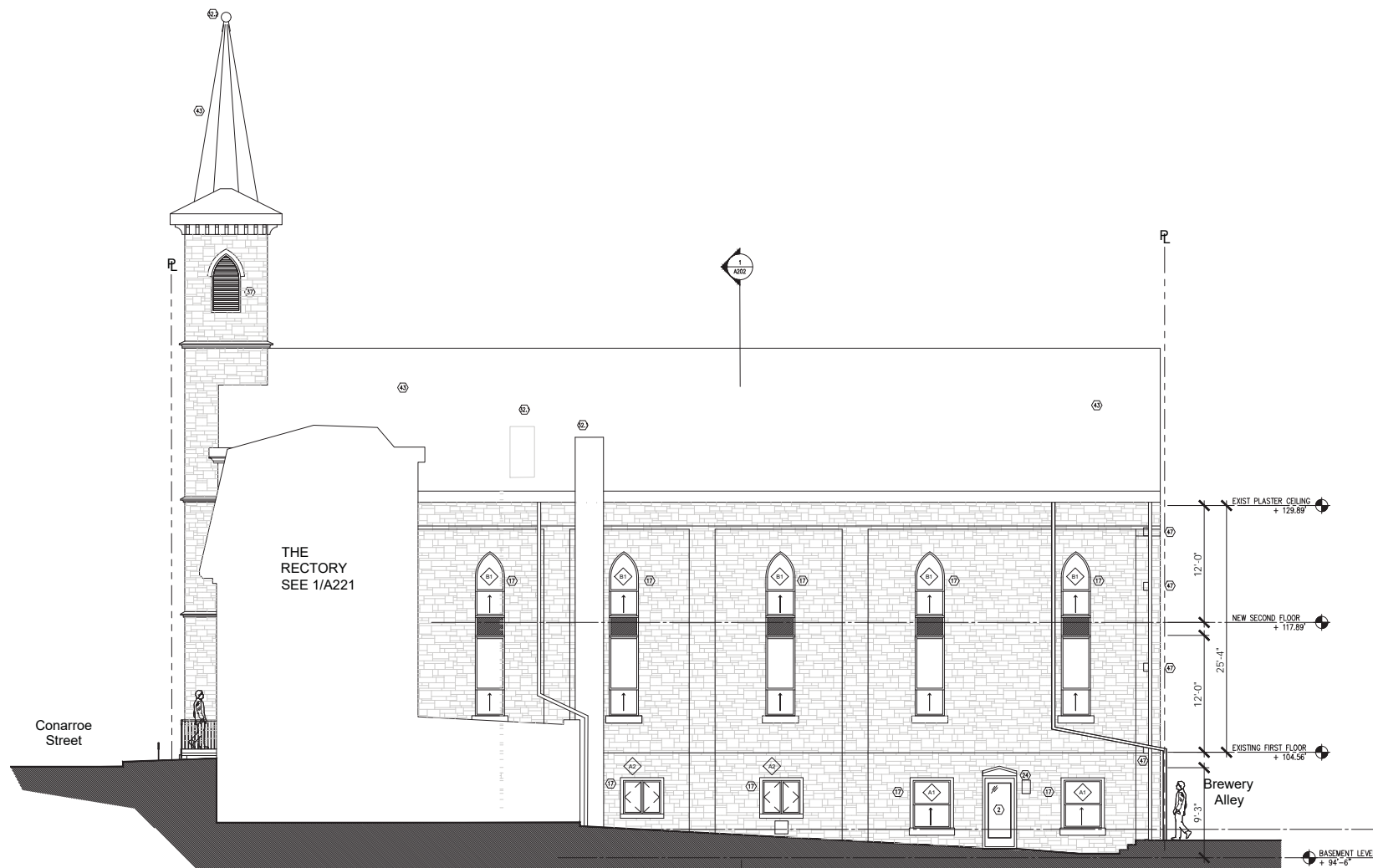
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EAST CHURCH ELEVATION

HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	@ 22 x 34
ISSUED:	06/11/19
PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	

A 304



1 NORTH ELEVATION
A304 Scale: 3/16"=1'-0"

KEY NOTES: SEE D110 & A110

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4 THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.



1 SOUTH ELEVATION
Scale: 3/16"=1'-0"

KEY NOTES: SEE D100 & A100

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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Tel: 215.755.9318

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Mechanical Engineering
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Philadelphia, PA 19119
Tel: 267.257.0385

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Structural Engineering
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Tel: 610.337.3360

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Civil Engineering
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ST. MARY'S RENEWAL PROJECT

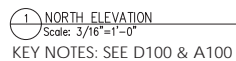
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SOUTH RECTORY ELEVATION

HISTORIC SUBMISSION

PROJECT No.	C1805
SCALE:	NTS
ISSUED:	06/11/19
PRELIMINARY CODE REVIEW	
A 311	



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Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
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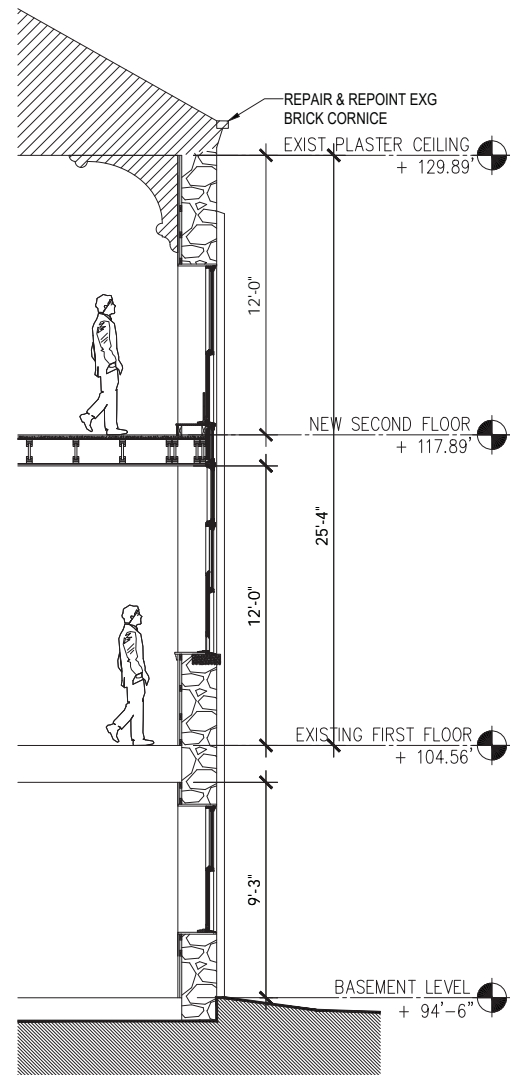
PROJECT
**ST. MARY'S RENEWAL
PROJECT**

RENOVATION OF HISTORIC CHURCH & RECTORY

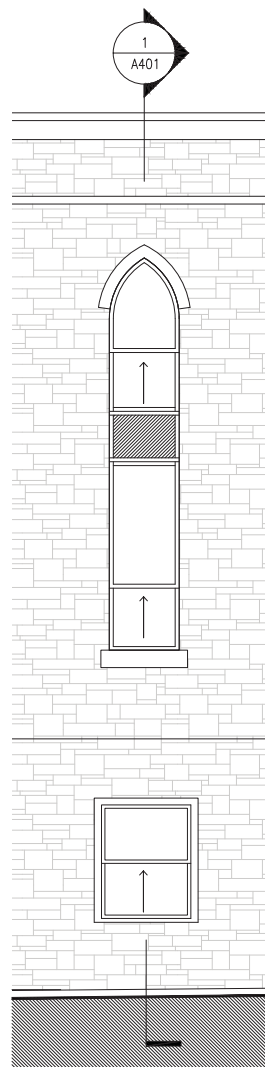
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NORTH RECTORY
ELEVATION
HISTORIC SUBMISSION

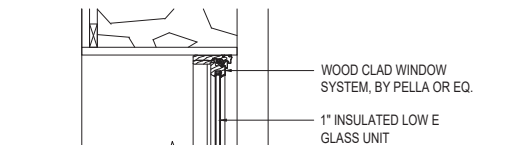
PRELIMINARY CODE REVIEW	PROJECT No: C1805
	SCALE: NTS
	ISSUED: 06/11/19
	A 312



1 CHURCH WINDOWS WALL SECTION
A401/ Scale: 3/8"=1'-0"



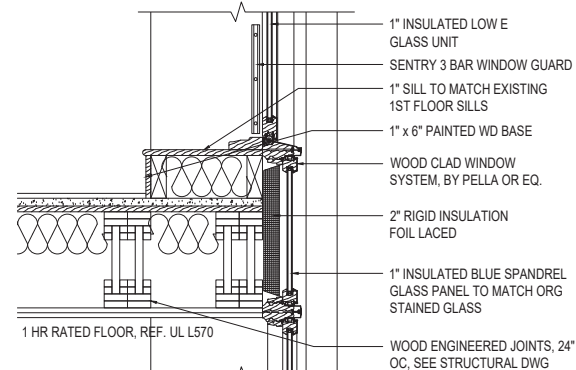
2 CHURCH WINDOWS ELEVATION
A401/ Scale: 3/8"=1'-0"



3 CHURCH WINDOW HEADER DETAIL
A401/ Scale: 1 1/2"=1'-0"



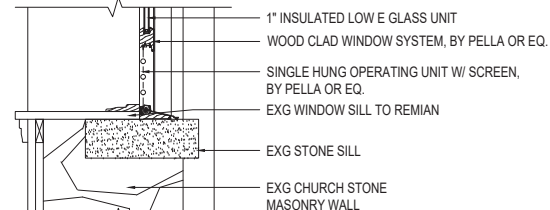
4 CHURCH WINDOW MULLION DETAIL
A401/ Scale: 1 1/2"=1'-0"



5 CHURCH WINDOW SPANDREL PANEL DETAIL
A401/ Scale: 1 1/2"=1'-0"



6 CHURCH WINDOW MULLION DETAIL
A401/ Scale: 1 1/2"=1'-0"



7 CHURCH WINDOW SILL DETAIL
A401/ Scale: 1 1/2"=1'-0"

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610.337.3360

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PROJECT

ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

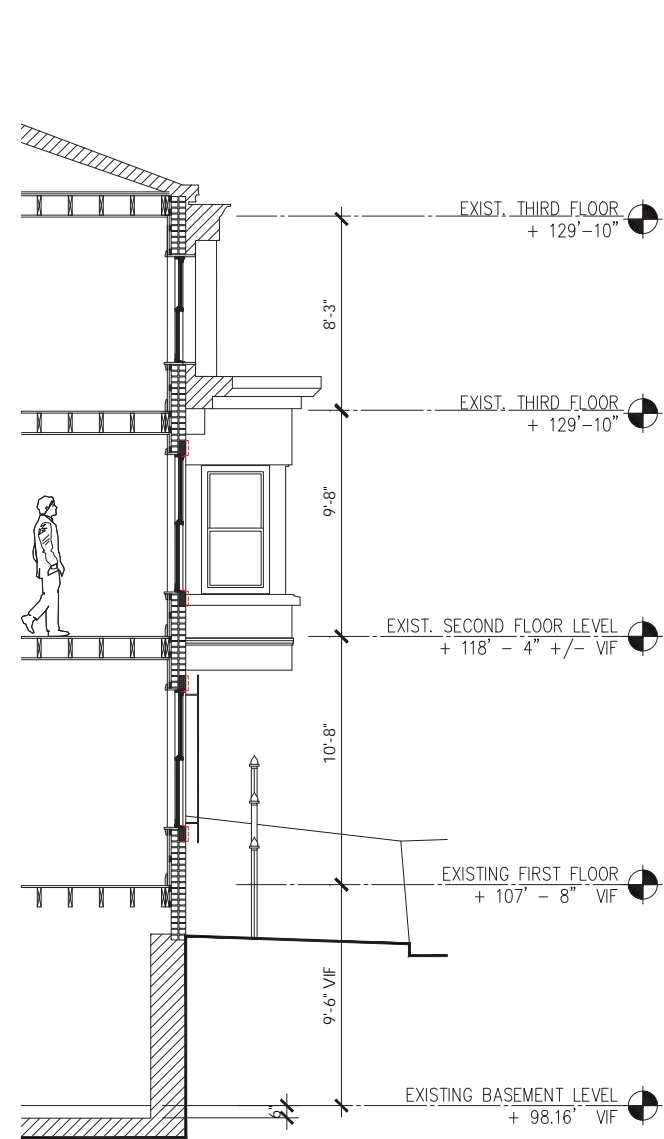
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CHURCH WINDOWS WALL SECTION

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No: C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
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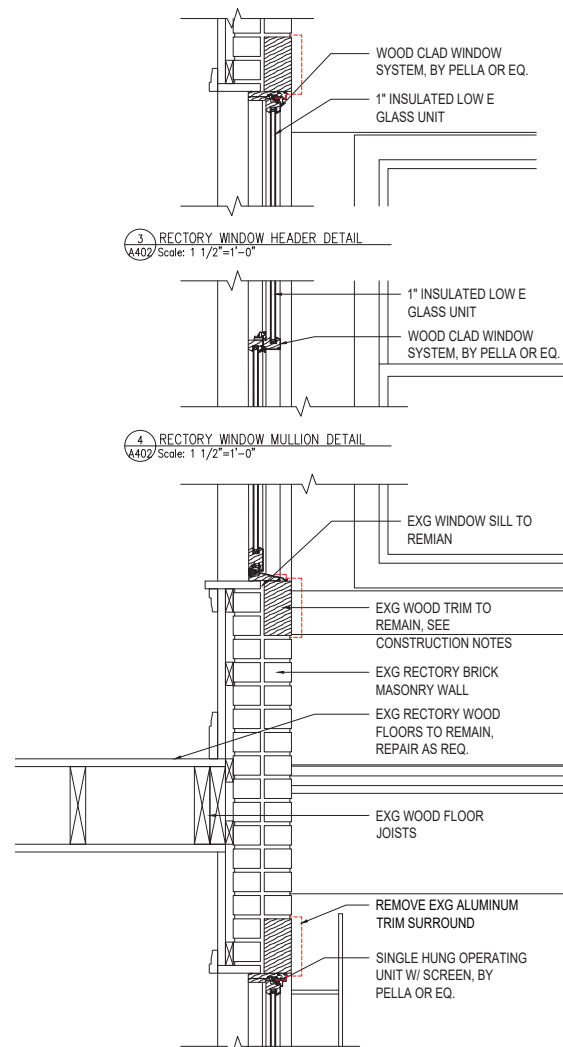
A 401



1 RECTORY WINDOWS WALL SECTION
A402 Scale: 3/8"=1'-0"



2 RECTORY WINDOWS ELEVATION
A402 Scale: 3/8"=1'-0"



SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4 THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

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Structural Engineering
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ST. MARY'S RENEWAL PROJECT

RENOVATION OF HISTORIC CHURCH & RECTORY

OWNER:
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RECTORY WINDOWS WALL SECTION

HISTORIC SUBMISSION

PHILADELPHIA
HISTORICAL
COMMISSION
SUBMISSION

PROJECT No. C1805

SCALE: @ 22 x 34

ISSUED: 06/11/19

A 402

CHURCH WINDOW SCHEDULE

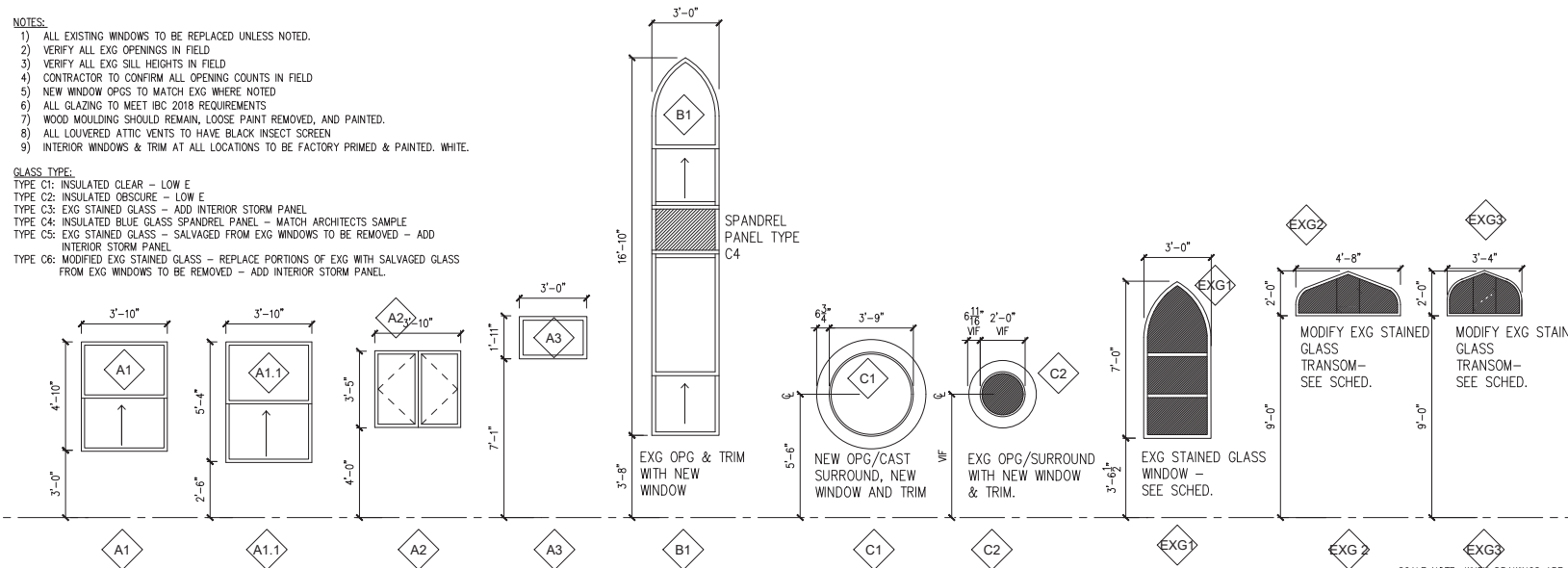
TYPE (A1, ETC)	OPG TYPE	LOCATION	QUANTITY	GLASS TYPE	GLAZING / 2019 ENERGY CODE REQS			DIMENSIONS			WINDOW FRAME		WINDOW TRIM		HEAD/ SILL	NOTES
					U-VALUE MEETS/ EXCEEDS? (.38)	VISUAL TRANSM. MEETS/ EXCEEDS? VT (.70)	SOLAR HEAT GAIN COEF. MEETS OR EXCEEDS? SHGC (.36)	WIDTH	HEIGHT	SILL HEIGHT	MATERIAL	FINISH	NEW OR EXG	MATERIAL/ FINISH		
A1	DOUBLE HUNG	BASEMENT	6	C1	YES	YES	YES	3'-10"	4'-10"	3'-0"	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	STONE	
A1.1	DOUBLE HUNG	BASEMENT	1	C1	YES	YES	YES	3'-10"	5'-10"	2'-6"	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	STONE	
A2	CASEMENT	BASEMENT	2	C1	YES	YES	YES	3'-10"	3'-5"	4'-0"	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	STONE	
A3	FIXED TRANSOM	BASEMENT CHURCH YARD SIDE	1	C1	YES	YES	YES	3'-0"	1'-11"	7'-1"	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	STONE	COORDINATE TRANSOM WITH DOOR
B1	HUNG - SEE NOTES	TYP TALL SIDE WINDOWS	11	C1 & C3	YES	YES	YES	3'-0"	16'-10"	3'-0"	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	STONE	THREE PART WINDOW: UPPER FIXED & SINGLE HUNG, MIDDLE INSULATED SPANDREL, BOTTOM DOUBLE - 1 FIXED & ONE SINGLE HUNG
C1	NEW FIXED	TOWER	2	C3	YES	YES	YES	3'-9" DIA	3'-9" DIA	3'-8"	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	STONE	NEW ROUND FIXED WINDOW WITH NEW CAST SURROUND. SIMILAR TO EXG ROUND WINDOW IN TOWER ABOVE
C2	NEW FIXED	TOWER	1	C5	YES	YES	YES	2'-0" DIA	2'-0" DIA	VIF	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	STONE	NEW ROUND FIXED WINDOW IN EXG STONE SURROUND. GLASS TO BE BLUE SALVAGED GLASS FROM THE EXG STAINED GLASS WINDOWS
EXG1	EXG STAINED GLASS	TOWER	2	C3	NO - EXG	NO - EXG	NO - EXG	7'-0"	3'-0"	VIF	EXG WOOD	NEW PAINT	EXG	PAINT EXG WOOD	STONE/ WOOD	EXG STAINED GLASS WINDOW AND TRIM TO REMAIN - REMOVE CLEAN & REPAIR AS REQ. ADD INTERIOR STORM PANEL
EXG2	EXG STAINED GLASS TRANSOM	TOWER ENTRANCE	2	C6	NO - EXG	NO - EXG	NO - EXG	4'-6" DIA	2'-0"	5'-6"	EXG WOOD	NEW PAINT	EXG	PAINT EXG WOOD	STONE/ WOOD	EXG FIXED TRANSOM WITH POINTED ARCH - MODIFY AREA WITH CROSS - CLEAN & REPAIR
EXG3	EXG STAINED GLASS TRANSOM	TOWER ENTRANCE	1	C6	NO - EXG	NO - EXG	NO - EXG	3'-0"	2'-0"	2'-6"	EXG WOOD	NEW PAINT	EXG	PAINT EXG WOOD	STONE/ WOOD	EXG FIXED TRANSOM WITH POINTED ARCH - MODIFY AREA WITH CROSS - CLEAN & REPAIR

NOTES:

- 1) ALL EXISTING WINDOWS TO BE REPLACED UNLESS NOTED.
- 2) VERIFY ALL EXG OPENINGS IN FIELD
- 3) VERIFY ALL EXG SILL HEIGHTS IN FIELD
- 4) CONTRACTOR TO CONFIRM ALL OPENING COUNTS IN FIELD
- 5) NEW WINDOW OPGS TO MATCH EXG WHERE NOTED
- 6) ALL GLAZING TO MEET IBC 2018 REQUIREMENTS
- 7) WOOD MOULDING SHOULD REMAIN, LOOSE PAINT REMOVED, AND PAINTED.
- 8) ALL LOUVERED ATTIC VENTS TO HAVE BLACK INSECT SCREEN
- 9) INTERIOR WINDOWS & TRIM AT ALL LOCATIONS TO BE FACTORY PRIMED & PAINTED, WHITE.

GLASS TYPE:

TYPE C1: INSULATED CLEAR - LOW E
 TYPE C2: INSULATED OBSCURE - LOW E
 TYPE C3: EXG STAINED GLASS - ADD INTERIOR STORM PANEL
 TYPE C4: INSULATED BLUE GLASS SPANDREL PANEL - MATCH ARCHITECTS SAMPLE
 TYPE C5: EXG STAINED GLASS - SALVAGED FROM EXG WINDOWS TO BE REMOVED - ADD INTERIOR STORM PANEL
 TYPE C6: MODIFIED EXG STAINED GLASS - REPLACE PORTIONS OF EXG WITH SALVAGED GLASS FROM EXG WINDOWS TO BE REMOVED - ADD INTERIOR STORM PANEL.



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RENOVATION OF HISTORIC CHURCH & RECTORY

OWNER:
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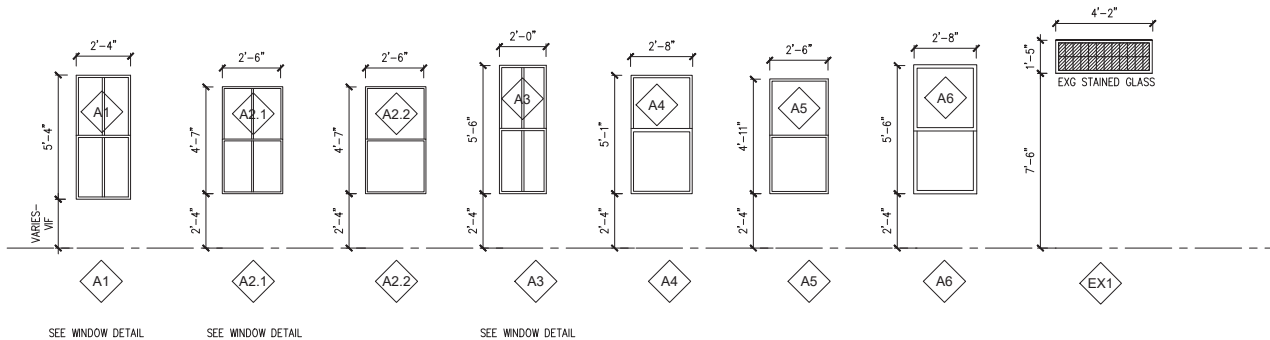
CHURCH WINDOW SCHEDULE

HISTORIC SUBMISSION

PHILADELPHIA HISTORICAL COMMISSION SUBMISSION	PROJECT No. C1805 SCALE: @ 22 x 34 ISSUED: 06/11/19
	A 901

RECTORY WINDOW SCHEDULE

TYPE (A1, ETC)	OPG TYPE	LOCATION	QUANTITY	GLASS TYPE	GLAZING / 2019 ENERGY CODE REQ'S			DIMENSIONS			WINDOW FRAME		WINDOW TRIM		HEAD/ SILL	NOTES
					U-VALUE MEETS/ EXCEEDS? (.38)	VISUAL TRANSMIT. MEETS/ EXCEEDS? VT (.70)	SOLAR HEAT GAIN COEF. MEETS OR EXCEEDS? SHGC (.36)	WIDTH	HEIGHT	SILL HEIGHT	MATERIAL	FINISH	NEW OR EXG	MATERIAL/ FINISH		
A1	DOUBLE HUNG	FRONT FACADE/ CONARROE ST	12	1	YES	YES	YES	2'-4"	5'-4"	VARIES	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	EXG WOOD/ EXG WOOD	REMOVE ALL METAL TRIM. REQ'S CENTER MULLION PER HISTORIC. SEE ELEVATIONS AND NOTES
A2.1	DOUBLE HUNG	MANSARD/ CONARROE ST	6	1	YES	YES	YES	2'-6"	4'-7"	2'-4"	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	EXG WOOD/ EXG WOOD	REMOVE ALL METAL TRIM. REQ'S CENTER MULLION PER HISTORIC. SEE ELEVATIONS AND NOTES
A2.2	DOUBLE HUNG	MANSARD/ REAR YARD	7	1	YES	YES	YES	2'-6"	4'-7"	2'-4"	FIBERGLASS	DARK BRONZE	EXG	EXG METAL TRIM	EXG METAL PANEL	
A3	DOUBLE HUNG	BAY WINDOW/ CONARROE ST	5	1	YES	YES	YES	5'-6"	2'-0"	2'-4"	ALUM CLAD WOOD	DARK BRONZE	NEW	ALUM CLAD WOOD	EXG WOOD/ EXG WOOD	REMOVE ALL METAL TRIM. REQ'S CENTER MULLION PER HISTORIC. SEE ELEVATIONS AND NOTES
A4	DOUBLE HUNG	REAR YARD	5	1	YES	YES	YES	5'-6"	2'-0"	2'-4"	FIBERGLASS	DARK BRONZE	EXG	EXG METAL TRIM	EXG METAL PANEL	
A5	DOUBLE HUNG	REAR YARD	4	1	YES	YES	YES	5'-1"	2'-8"	VARIES	FIBERGLASS	DARK BRONZE	EXG	EXG METAL TRIM	EXG METAL PANEL	
A6	DOUBLE HUNG	REAR YARD	9	1	YES	YES	YES	4'-11"	2'-6"	2'-4"	FIBERGLASS	DARK BRONZE	EXG	EXG METAL TRIM	EXG METAL PANEL	
EXG1	FIXED	REAR BASEMENT - UNDER PORCH	2	4	EXG - NO	EXG - NO	EXG - NO	2'-0" - VIF	11" - VIF	7'-8"						REPAIR & REPAINT EXG WINDOW / FRAME
EXG2	FIXED	FRONT BASEMENT NEAR CHURCH	1	4	EXG - NO	EXG - NO	EXG - NO	2'-0" - VIF	11" - VIF	7'-8"						REPAIR & REPAINT EXG WINDOW / FRAME
EXG3	FIXED	BASEMENT WINDOW UNDER LIGHT WELL	2	4	EXG - NO	EXG - NO	EXG - NO	2'-0" - VIF	11" - VIF	7'-8"						REPAIR & REPAINT EXG WINDOW / FRAME
EXG4	FIXED	STAINED GLASS TRANSOM AT FRONT DOOR	1	3	EXG - NO	EXG - NO	EXG - NO	3'-0" - VIF	11" - VIF	7'-8"						REPAIR & REPAINT EXG WINDOW / FRAME; INSTALL STORM PANEL ON INTERIOR



1 WINDOW SCHEDULE A902 Scale: 3/8"=1'-0"

NOTES:

- 1) ALL EXG WINDOWS TO BE REPLACED UNLESS NOTED
- 2) VERIFY ALL EXG OPENINGS IN FIELD
- 3) VERIFY ALL EXG SILL HEIGHTS IN FIELD
- 4) CONTRACTOR TO CONFIRM ALL OPENING COUNTS IN FIELD
- 5) NEW WINDOW OPNGS TO MATCH EXG WHERE NOTED
- 6) ALL GLAZING TO MEET IBC 2018 REQUIREMENTS
- 7) EXG WD MOLDINGS & TRIM TO REMAIN OR BE REPLACED IN KIND; LOOSE PAINT REMOVED, SAND & REPAINT
- 8) INTERIOR WINDOWS & TRIM AT ALL LOCATIONS TO BE FACTORY PRIMED & PAINTED. WHITE.

GLASS TYPE:

TYPE 1: INSULATED CLEAR LOW E
TYPE 2: INSULATED OBSCURE LOW E
TYPE 3: EXG STAINED GLASS - INSTALL STORM PANEL ON INTERIOR
TYPE 4: EXG GLASS - INSTALL STORM PANEL ON INTERIOR

SCALE NOTE: WHEN DRAWINGS ARE PRINTED ON 11X17 SHEETS THE SCALE IS 1/4" THE SIZE SHOWN. FOR DRAWINGS PRINTED ON 22X34 SHEETS, THE SCALE IS AS SHOWN.

CaVA
Architects, llp

2118 Locust Street
Philadelphia PA 19103
phone: 215.732.8525
www.cava21.com

CONSULTANTS

BHG Consulting, INC.
Electrical Engineering
1812 South 22nd Street
Philadelphia, PA 19145
Tel: 215.755.9318

Castelli Mechanical Design
Mechanical Engineering
6822 Crittenden Street
Philadelphia, PA 19119
Tel: 267.257.0385

The Harman Group, Inc.
Structural Engineering
900 West Valley Forge Road, Suite 200
King of Prussia, PA 19406
Tel: 610.337.3360

Yohn Engineering
Civil Engineering
555 Second Ave., Suite B-205
Collegeville, PA 19426
Tel: 610.489.4580

Ambric Technology Corporation
Consulting Engineers and Surveyors
100 Pine Street
Colwyn, PA 19023
Tel: 215.928.8930

6		
5		
4		
3		
2		
1		
No.	DATE	REVISION

PROJECT

ST. MARY'S RENEWAL PROJECT
RENOVATION OF HISTORIC CHURCH & RECTORY

OWNER:
AMERICAN LIVING CONCEPTS
OF MANAYUNK
828 RED LION RD. SUITE E-1
PHILADELPHIA, PA 19115

**RECTORY WINDOW SCHEDULE
HISTORIC SUBMISSION**

PRELIMINARY CODE REVIEW	PROJECT No.	C1805
	SCALE:	NTS
	ISSUED:	06/11/19

A 902